

3 Frontage Type Standards

3.0 Introduction

3.0.1 Purpose

This chapter identifies permitted development frontage types per applicable overlay and street type, and provides design standards for each frontage type to ensure that development relates to the street and meets community design objectives. The arrangement and design of development frontages largely determines the character of the area and the quality of the pedestrian environment. These standards are intended to provide for a range of development frontage types that will reinforce the desired character of Activity Centers, streets, and residential neighborhoods over time as areas develop and redevelop.

~~Like all other code elements in this document, these standards shall be used in concert with other standards herein. Section 3.1 explains how to use this chapter. Section 3.2 identifies all frontage types and where they are permitted. Sections 3.3 through 3.9 provide standards for each frontage type. Cross-references to other applicable chapters are frequently provided for user convenience.~~

3.0.2 Applicability

All buildings proposed along street frontages shall utilize a permitted frontage type per Section 3.2 and conform to applicable frontage type standards herein. Fences along the street front are subject to the Fenced Yard Standards in Section 3.8. Buildings and fences placed away from the street, behind parking lots, and/or not generally visible from the street are not subject to the standards herein unless otherwise noted (See Chapter 4 Overlay Standards for provisions related to the location of buildings, parking, and storage areas along streets).



Figure 3-1. An example of design elements addressed in the frontage type standards. This example illustrates a hybrid of several different frontage types.

3.0.3 About Transparency Requirements

The purpose of transparency requirements is to maintain “eyes on the street” for safety of pedestrians and to create a more welcoming and interesting streetscape and give an indication of the types of uses and activities occurring in buildings. Transparent windows and doors may be used to meet transparency requirements. Glazed windows, where visibility is obscured, shall not be used to meet transparency requirements.

(1) Non-Residential Uses:

(a) The Transparency Zone refers to the ground floor between between 30 vertical inches and 8 vertical feet above grade (where the ground, terrace, or stoop meets the façade).

(b) For sloping frontages, the Responsible Official may grant flexibility to the Transparency Zone dimensions provided the design of the façade adds visual interest to pedestrians and that untreated blank wall areas are avoided.

(c) Where structured parking facilities occupy a portion of the ground floor frontage, the vehicular entrance is exempt from the transparency requirement. Openings simulating windows may be used to meet up to 50 percent of the transparency requirement, except for Storefronts or Forecourts.

(d) Display windows may be used to meet up to 50 percent of the transparency requirements provided they are at least 18 inches deep and integrated into the architecture of the building. Tack on display cases don't qualify as transparent areas.

(e) Buildings in the Light Industrial zone are exempt from transparency requirements, though Light Industrial (ML) uses permitted in the 78th Street Heritage Farm Master Plan Area shall comply with transparency requirements.

(f) Storefront Transparency Compliances: The minimum window and door transparency required is 60% within the Storefront and Forecourt Transparency Zone (30" - 8').

Figures 3-2 through 3-8 clarify transparency requirements:

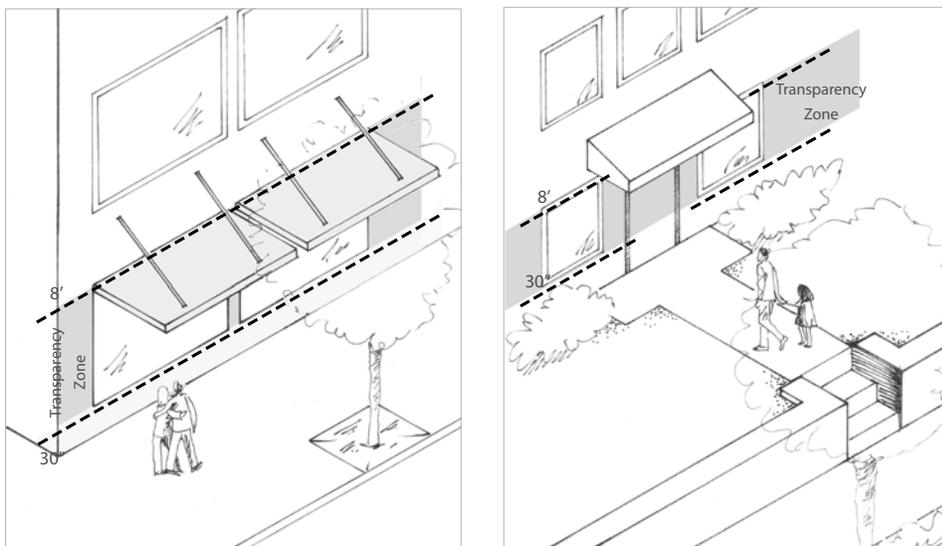


Figure 3-2. The transparency standards apply to the ground floor between 30 vertical inches and 8 vertical feet above the sidewalk.

Figure 3-3. Display windows are permitted for up to 50% of the transparency requirements, but tack on display cases (far right example) do not qualify.



Storefront Transparency Compliance Examples: The minimum window and door transparency required is 60% within the Storefront and Forecourt Transparency Zone (30" - 8').

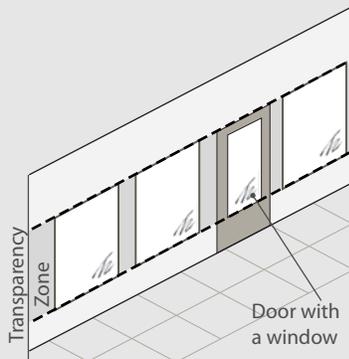


Figure 3-4. Meets requirements. The windows extend to the full height of the Transparency Zone to meet or exceed the 60% transparency requirement.

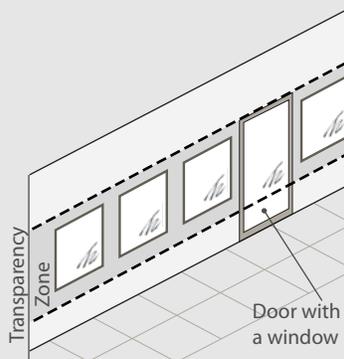


Figure 3-5. Meets requirements. While the windows do not extend to the full height of the Transparency Zone, the transparent areas are extensive enough to meet the 60% transparency requirement.

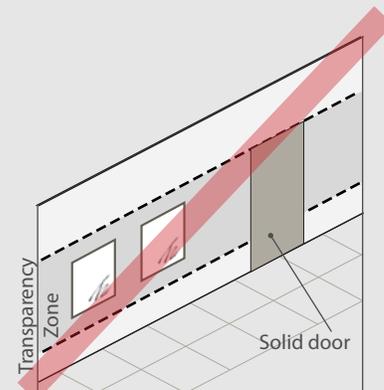


Figure 3-6. Does not meet requirements. The windows are not nearly enough to meet the 60% transparency requirement.

(2) Residential Uses:

- Transparency requirements apply to all vertical surfaces of the façade facing the street **as determined by the Responsible Official**. Private garages placed at least 15 feet behind the front wall of a house are exempt from transparency requirements.
- For mixed-use buildings, residential transparency requirements apply only to the portion of the façade used for residential purposes.
- Where structured parking facilities (other than private garages) occupy a portion of the façade, the vehicular entrance is exempt, but any openings simulating windows may be used to meet up to 50 percent of the transparency requirement.

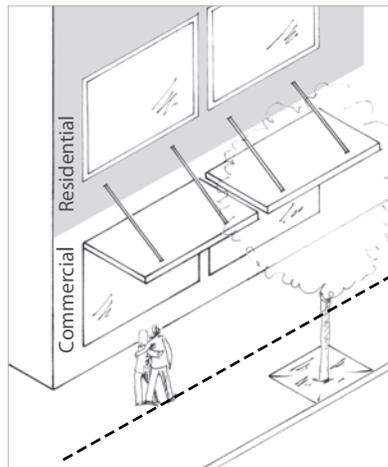


Figure 3-7. For mixed-use buildings, residential transparency requirements apply only to the portion of the façade used for residential purposes.

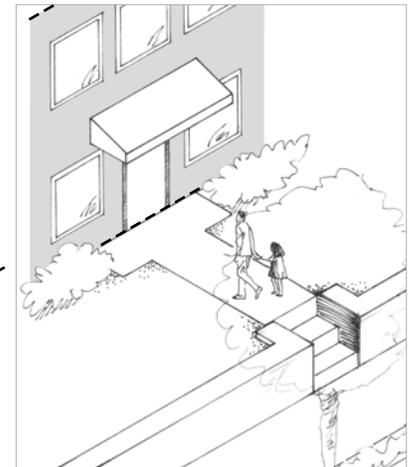


Figure 3-8. For single purpose residential, transparency requirements apply to all vertical surfaces of the façade.

Table 3-1. Minimum transparency requirements by use, street type, overlay, and frontage type.

	Non- Residential Uses			Residential Uses	
	Storefront Streets	Mixed-Use and Landscape Streets		Residential Streets	
	 Activity Center	 Activity Center	 Transitional	 Residential other than Single Family	 Single Family
Transparency Zone	30" - 8'	30" - 8'		Full Residential Façade	
Frontages					
Storefront	60%	60%	60%		
Forecourt					
Stoop				15%	
Lightcourt					
Terrace Yard		25%	15%	15%	10%
Fenced Yard					
Common Yard					

(3) Departures for Transparency Requirements:

Unless otherwise noted, departures of up to 50 percent of the transparency requirements may be permitted provided the design of the façade and frontage elements promotes safe pedestrian access along the sidewalk and creates continuous visual interest for pedestrians along the sidewalk and all other observable distances as determined by the Responsible Official. Monotonous design elements that do not provide continuous visual interest will not be permitted.

Figures 3-9 through 3-11 represent good and bad transparency departure examples:



Figure 3-9. This parking garage uses storefronts (far left), a decorative trellis with vines and decorative use of materials to add visual interest (Santa Cruz, CA).



Figure 3-10. This ceramic tile mural adds visual interest to pedestrians (Portland, OR).



Figure 3-11. The tall concrete walls and steel window cages enclosing the ground floor parking garage of an apartment building create an unfriendly pedestrian environment.

3.0.4 Setback Departures

Minimum and maximum front setback standards are provided for each frontage type. Departures ~~shall~~ may be permitted ~~by the Responsible Official~~ for both the maximum and minimum setbacks subject to the parameters and criteria set forth below.

(1) Minimum front setbacks: Departures for the reduction of minimum front setbacks by up to 50 percent may be permitted provide the applicant successfully demonstrates how the building and site design accomplishes the following objectives and minimum requirements:

- (a) Departures for reduced front setbacks may be applied only to sites within the Activity Center, Transitional Area, and Multifamily Overlays.
- (b) Buildings with reduced setbacks shall comply with transparency standards for applicable frontage type per use and overlay district.
- (c) Site/building design treatment must provide continuous **visual interest at the** pedestrian scale amenities along the sidewalk. ~~With the reduced setback, building details and landscaping elements (or lack thereof) are much more noticeable.~~—For example, a diversity of landscaping materials and treatments can provide for an interesting streetscape environment within a small space. Landscaping elements can also screen blank wall areas between windows. Changes in building materials and special detailing can also add interest. For facades longer than 120 feet, a variety of treatments may be needed to meet the criteria herein.
- (d) ~~For buildings with ground floor residential uses, the site/building shall be designed to maximize privacy and safety to residents. Design elements shall be included that help to clearly define public from private space along street frontages.~~ See Figures 3-12 to 3-15 below for good and bad examples.
- (de) Landscaped area within the public right-of-way between the existing/proposed sidewalk and the building may be used to reduce the front setback ~~at the discretion of the Responsible Official~~ where the additional right-of-way is not needed for ~~planned or potential future~~ street or utility improvements. ~~The Responsible Official may require a maintenance agreement with the property owner for the area within the right-of-way.~~



Figure 3-12. This residential frontage is a combination of a stoop (areas where elevated from sidewalk) and fenced yard. Its 5-foot setback would not meet the requirements for either frontage. However, the fence design combined with the landscaping elements, windows, and use of materials adds visual interest to the pedestrian while providing for enhanced privacy and security for ground floor residents.



Figure 3-13. This narrow common yard frontage of this apartment building is setback only about 5 feet from the sidewalk edge. The extensive use of windows combined with the façade details and landscaping elements provide visual interest along the sidewalk. The use of this ground floor area for common residential facilities alleviates any potential privacy problems.



Figure 3-14. Bad example. The ground floor frontage is a combination of a storefront and a common yard, but it would not meet the requirements for either. It does not include enough transparency for a storefront and the setback is too shallow for a common yard. **The lack of landscaping and interesting building details make it a poor candidate for a reduced setback.**



Figure 3-15. Bad example. This apartment building is setback about 8 feet from the sidewalk. While the iron fence adds security, the placement of units level with the sidewalk and use of large sliding glass windows reduce privacy for residents.

(2) Maximum front setbacks: Departures for larger front setbacks may be permitted for all non-Storefront Streets within all overlay districts provided the site complies with applicable parking location and maximum frontage standards (for commercial or multifamily) or garage/driveway location and design standards for detached single family and duplex housing types.

3.1 How To Use this Chapter

Step 1: Find the Applicable Overlay on the Regulatory Map (See Chapter 2)

<ul style="list-style-type: none">  Multifamily Residential  Mixed Residential  Single Family Residential 	<p>Permitted Frontage Types and required setbacks for residential overlays are determined by the overlay designation only.</p> <p>See the Regulatory Maps in Section 2.3 for locations.</p>
.....	
<ul style="list-style-type: none">  Activity Center  Transitional Area  78th Street Property ¹ 	<p>Permitted Frontage Types and required setbacks for Activity Centers, Transitional Areas, and the 78th Street Property are determined in combination with designated Street Types.</p>

Step 2: Find the Street Type and Recognize the Combination

Each street within Activity Centers and Transitional is designated as either a Storefront, Mixed-Use, or Landscape Street type. The type of line shown along the streets on the Regulatory Maps distinguishes each street type.

Overlay

-  Activity Center
-  Transitional Area



Street Types

-  Storefront Street
-  Mixed-Use Street
-  Landscape Street



Combination

-  Storefront Street
-  Mixed-Use Street
-  Landscape Street

-  Mixed-Use Street
-  Landscape Street

The overlay for residential areas and the combination of Overlays and Street Types act as legends in reference to both the Regulatory Maps (Sections 2.1 - 2.4) and the Permitted Frontage Types (Sections 3.2 - 3.9).

¹For the 78th Street Heritage Farm Property, refer to the frontage standards applicable to the Activity Center Overlays in combination with the designated street types on the regulatory map in Section 2.4.

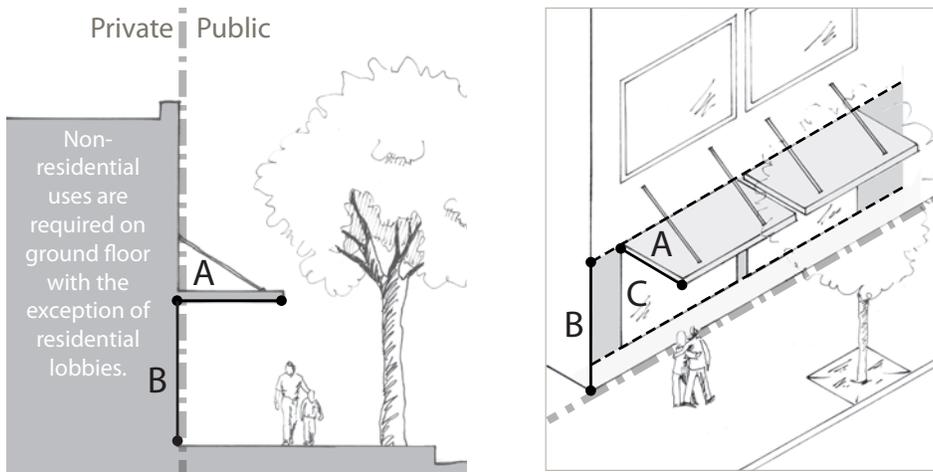
3.2 Permitted Frontage Types

The chart below illustrates a range of development frontages and the particular street types and overlays where they are permitted (shaded boxes). Combinations, or hybrids of multiple frontage types are permitted.

Table 3-2. Frontage Type Standards cross referenced with street types.

		Overlays and Street Types							
		Activity Centers			Transitional Areas		Residential Areas		
		Store-front Street	Mixed-Use Street	Landscape Street	Mixed-Use Street	Landscape Street	Multi-family	Mixed	Single Family
<p>Frontage Types</p>  <p>3.3 Storefront Façades located adjacent to the sidewalk.</p>  <p>3.4 Forecourt Uncovered courtyards within a storefront setting.</p>  <p>3.5 Stoop Elevated platform entry ways.</p>  <p>3.6 Light court Sunken courtyards in tandem with raised platforms.</p>  <p>3.7 Terrace yard Raised lawns or gardens separated from the frontage line by a retaining wall.</p>  <p>3.8 Fenced yard Distinct separation between the public and private realms.</p>  <p>3.9 Common yard Visually continuous landscaped space along adjacent yards.</p>	Frontage Type not permitted	Frontage Type permitted							
	✓	✓		✓					
	✓	✓		✓					
		✓		✓		✓			
		✓		✓		✓			
		✓	✓	✓	✓	✓	✓	✓	✓
		✓	✓	✓	✓	✓	✓	✓	✓
		✓	✓	✓	✓	✓	✓	✓	✓
		✓	✓	✓	✓	✓	✓	✓	✓

3.3 Storefront Standards



3.3.1 Dimensions

Weather Protection
 A = at least 5' deep (average)
 B = at least 8' above grade

Transparency
 C = Transparency Zone between 30" - 8' above grade

Sidewalks
 12' minimum width with trees in grates. See Chapter 9

3.3.2 Storefront Definition

Storefronts are non-residential façades located adjacent to a public sidewalk or private internal walkway. Design elements of storefronts are expected to encourage and allow for high pedestrian traffic.

3.3.3 Storefront Uses

- Non-residential uses are required on ground floor with the exception of residential lobbies.

3.3.4 Storefront Design

- An entrance that faces the sidewalk for each building and business is required.
- Weather protection along at least 60% of the façade, averaging at least 5 feet deep and placed at least 8 vertical feet above the sidewalk.
- Transparency along at least 60% of the Transparency Zone.

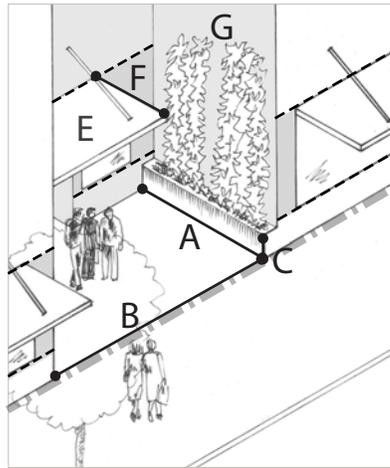
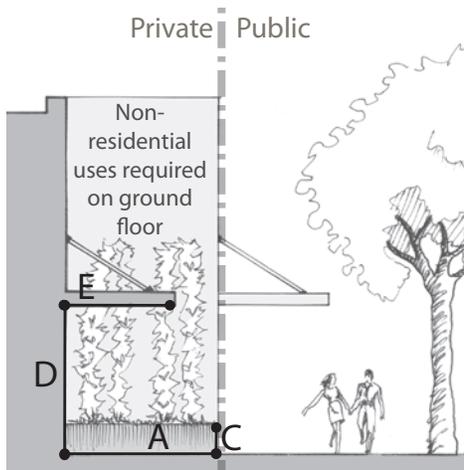
Table 3-3. Storefront building setback range per Street Type and Overlay.

Map Index	Street Type	Building Setback
Activity Center Overlay		
	Storefront	edge of sidewalk
	Mixed-Use	edge of sidewalk
Transitional Overlay		
	Mixed-Use	edge of sidewalk

Figure 3-16. Storefront frontage examples.



3.4 Forecourt Standards



3.4.2 Forecourt Definition

Forecourts are uncovered courtyards within a storefront setting. The court is suitable for outdoor dining, seating, and gardens.

3.4.3 Forecourt Design

- Non-residential uses are required on ground floor with the exception of residential lobbies.

3.4.4 Forecourt Uses

- **Entry:** at least one building entry must front onto court.
- **Weather protection** at least 5 feet deep is required over entire span of all entries and placed at least 8 vertical feet above grade.
- **Design of the court** must meet the pedestrian-oriented space design criteria as set forth in Section 5.2.1, and be ADA accessible.
- **Transparency** along at least 60% of Transparency zone; ground-floor side walls (see G above) are exempt, but subject to blank wall standards per Section 6.4.

3.4.1 Dimensions

Forecourt Parameters

A = no min. / no max.

B = 10' min.

50% of lot width max.

Forecourt elements

C = low walls or planters less than 42" tall are permitted

Weather Protection

D = at least 8' above grade

E = at least 5'

Transparency

F = Transparency Zone between 30" - 8' above grade.

G = Transparency encouraged, but not required

Sidewalks

12' minimum width with trees in grates. See Chapter 9

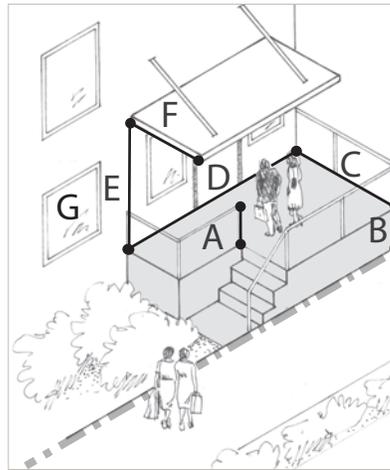
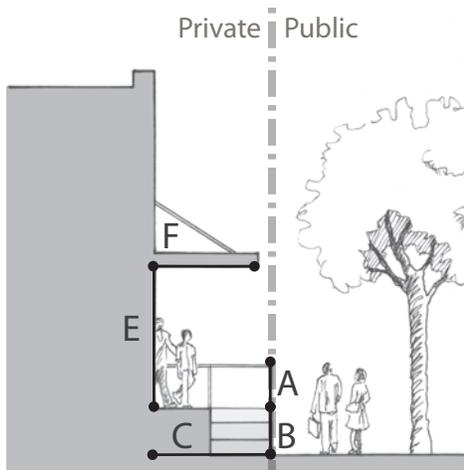
Figure 3-17. Forecourt frontage examples.



Table 3-4. Forecourt building setback range per Street Type and Overlay.

Map Index	Street Type	Building Setback
Activity Center Overlay		
	Mixed-Use	no min no max
Transitional Overlay		
	Mixed-Use	no min no max

3.5 Stoop Standards



3.5.1 Dimensions

Decorative Railing

A = 42" tall and at least 50% transparent

Platform

B = 0" - 36" tall

C = at least 6' deep

D = at least 6' wide

Weather Protection

E = at least 8' above platform

F = at least 3' and shall not project into the Right-of-Way

G = Transparency Zone 30" - 8' above stoop

3.5.2 Stoop Definition

Stoops are elevated platform entryways situated close to the sidewalk. The stoop improves privacy for residential uses.

3.5.3 Stoop Design

- Building entries shall be visible from the street.
- For sloping frontages, the Responsible Official may allow flexibility shall be allowed with the dimensions.
- Weather protection at least 3 feet deep is required over entire span of all entries and placed at least 8 vertical feet above the platform.
- Transparency for non-residential uses: Within Activity Centers, along 25% of the Transparency Zone; within Transitional, along 15% of the Transparency Zone.
- Transparency for residential uses: At least 15% of the entire residential façade for mixed use and multifamily.

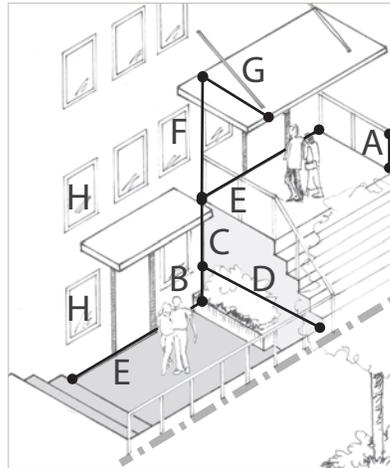
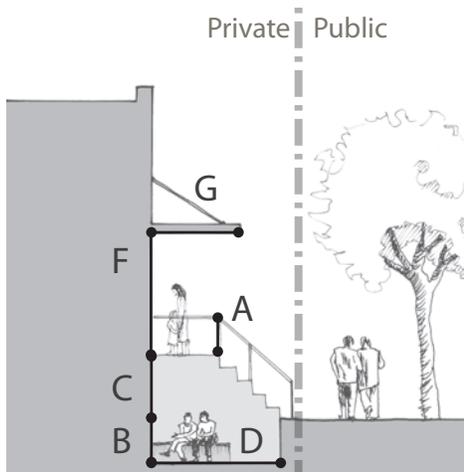
Table 3-5. Stoop setback range per Street Type and Overlay.

Map Index	Street Type	Building Setback
Activity Center Overlay		
	Mixed-Use	6' - 20'
Transitional Overlay		
	Mixed-Use	6' min - no max
Residential Overlay		
	Multifamily	6' - 20'

Figure 3-18. Stoop frontage examples.



3.6 Lightcourt Standards



3.6.1 Dimensions

Decorative Railing

A = Up to 42" tall

Lightcourt Parameters

B = 0' - 5' recessed

C = 0' - 8' tall

D = at least 10' deep

E = at least 10' wide

Weather Protection

F = at least 8' above platform

G = at least 3' and shall not project into the Right-of-Way

H = Transparency Zone 30" - 8' above stoop/lightcourt

3.6.2 Lightcourt Definition

Lightcourts are sunken courts recessed from the sidewalk. Lightcourts are typically designed in tandem with stoops, allowing for two floors to have street access.

3.6.3 Lightcourt Design

- Building entries shall be visible from the street.
- Lightcourt depth/width (see D/E above) to equal 10 feet clear of the stairway.
- For sloping frontages, the Responsible Official may allow flexibility may be allowed with the dimensions of the lightcourt.
- Weather protection at least 3 feet deep is required over entries and placed at least 8 vertical feet above the platform.
- Transparency for non-residential uses: Within Activity Centers, along 25% of the Transparency Zone; within Transitional Areas, along 15% of the Transparency Zone.
- Transparency for residential uses: At least 15% of the entire residential façade.

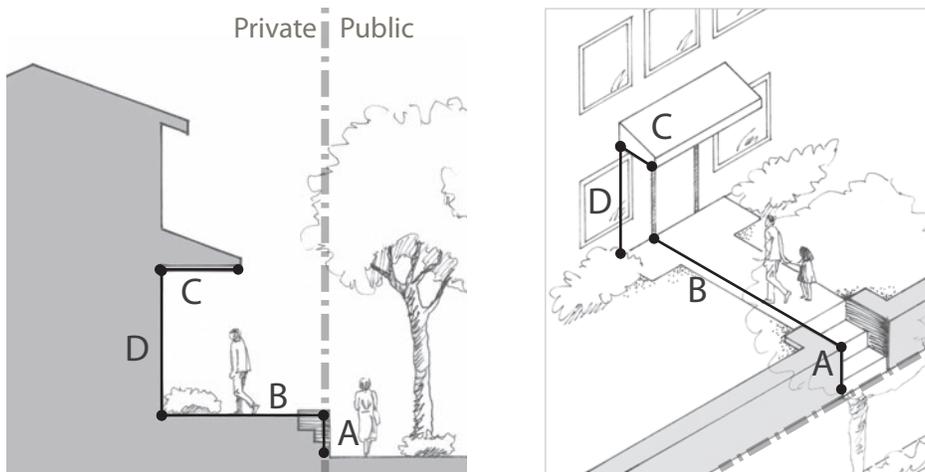
Figure 3-19. Lightcourt frontage examples.



Table 3-6. Lightcourt building setback range per Street Type and Overlay.

Map Index	Street Type	Building Setback
Activity Center Overlay		
	Mixed-Use	10' - 20'
Transitional Overlay		
	Mixed-Use	10' min - no max
Residential Overlay		
	Multifamily	10' - 20'

3.7 Terraced Yard Standards



3.7.1 Dimensions

Terrace Parameters

A = 0" - 36" high

B = 10' deep min.

Multiple terraces may be used provided each is separated by 2' wide planting beds.

Weather Protection

C = at least 3' deep, over building entries

D = at least 8' above grade

3.7.2 Terraced Yard Definition

Terraced yards are raised lawns and/or gardens separated from the sidewalk by a retaining wall.

3.7.3 Terraced Yard Design

- Building entries facing the street are encouraged. For multi-tenant buildings, at least one building entry visible and accessible from the street is required.
- For sloping frontages, the Responsible Official may allow flexibility may be allowed with the height of the retaining wall.
- Transparency for non-residential uses: Within Activity Centers, along 25% of the Transparency Zone; within Transitional Areas, along 15% of the Transparency Zone (30" to 8' above grade).
- Transparency for residential uses: At least 10% of the entire residential façade for Single Family uses; at least 15% of the façade for all other housing types.

Table 3-7. Terraced Yard building setback chart per Street Type and Overlay District.

Map Index	Street Type	Building Setback*
Activity Center Overlay		
	Mixed-Use	10' - 20'
	Landscape	10' min - no max
Transitional Overlay		
	Mixed-Use	10' min - no max
	Landscape	10' min - no max
Residential Overlay		
	Multifamily	10' - 20'
	Mixed Residential	10' - 25'
	Single Family	15' - 30'

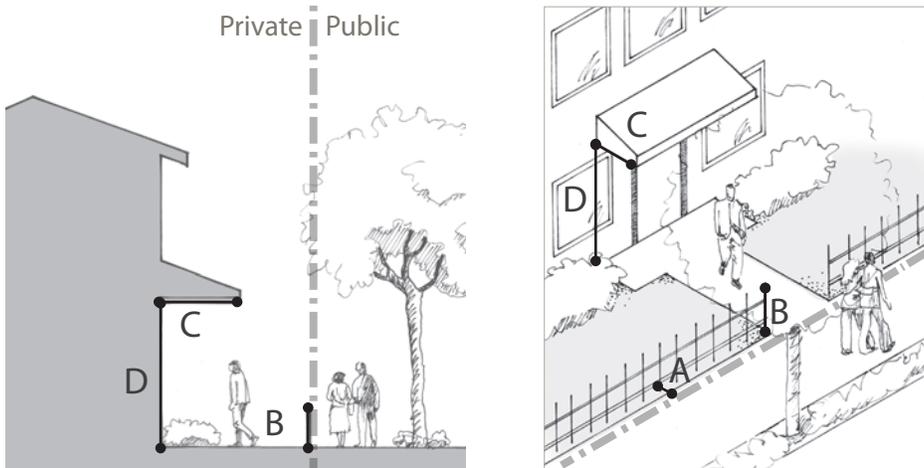
Figure 3-20. Terraced Yard examples.



* Unenclosed porches and covered entries may project up to six feet into the required setback area.

See Section 3.0.4 for setback departure opportunities

3.8 Fenced Yard Standards



3.8.1 Dimensions

Fence Setbacks

A— see Table 3-9 on page 48

Fence Height

B— see Table 3-9 on page 48

Weather Protection

C— at least 3', over building entries

D— at least 8' above grade

3.8.2 Fenced Yard Definition

Fenced yards clearly separate the public realm (sidewalks) from the private realm (residential or commercial use).

3.8.3 Fenced Yard Design

- Building entries facing the street are encouraged. For multi-tenant buildings, at least one building entry visible and accessible from the street is required.
- Landscaping along fenced frontages is essential to retain a desirable pedestrian environment, whether inside or outside of the fence line.
- For fence setback, height, and landscaping, refer to Table 3-9 on the following page.
- Transparency for non-residential uses: Within Activity Centers, along 25% of the Transparency Zone (30" to 8' above grade); within Transitional, along 15% of the Transparency Zone.
- Transparency for residential uses: At least 10% of the entire residential façade for Single Family uses; at least 15% of the façade for all other housing types.

Figure 3-21. Fenced Yard examples.



Table 3-8. Fenced Yard building setback chart per Street Type and Overlay District.

Map Index	Street Type	Building Setback*
Activity Center Overlay		
	Mixed-Use	10' - 20'
	Landscape	10' min - no max
Transitional Overlay		
	Mixed-Use	10' min - no max
	Landscape	20' min - no max
Residential Overlay		
	Multifamily	10' - 20'
	Mixed Residential	10' - 25'
	Single Family	15' - 30'

* Unenclosed porches and covered entries may project up to six feet into the required setback area.

See Section 3.0.4 for setback departure opportunities

3.8.4 Fence Material Standards

- Preferred fence materials include brick, stone, concrete, wood, and wrought iron
- Chain link fences shall be coated in vinyl and colored black or green.
- Slatted chain link fences are permitted only if screened from street with Type A landscaping.
- Non-durable materials, as determined by the Responsible Official, are prohibited.

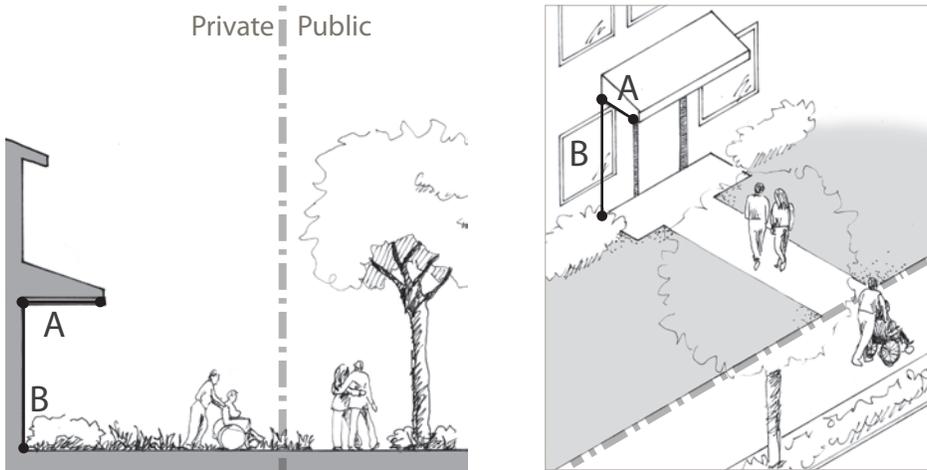
Table 3-9. Standards for fences in the front yard and between the sidewalk and any building.

Map Index	Street Types	Fence Height	Fence Setback			Landscaping (between sidewalk and fence)
			Less than 5' setback	5' or greater - but less than 10'	10' or greater setback	
Activity Centers Overlay						
	Mixed-Use Street	42" max	At least 30% transparent	P	P	Required
	Landscape Street	42" max			P	Required
Transitional Overlay						
	Mixed-Use Street	42" max	At least 30% transparent	P	P	Required
		42" - 6'			P	Required; When taller than 42" Type A or B required
	Landscape Street	6' max			P	Required; When taller than 3" Type A or B required
Residential Overlay						
	Multifamily	42" max	At least 30% transparent	P	P	Required
	Mixed Residential	42" max	At least 30% transparent	P	P	Required
	Single Family	42" max	At least 30% transparent	P	P	Required

P = Fence permitted at stated setback without transparency requirements.

= Fence not permitted within the setback area.

3.9 Common Yard Standards



3.9.1 Dimensions
Weather Protection
 A = at least 3'
 B = at least 8' above grade

3.9.2 Common Yard Definition

Common yards refer to landscaped frontages along sidewalks.

3.9.3 Common Yard Design

- Building entries facing the street are encouraged. At least one building entry visible and accessible from the street is required.
- Transparency for non-residential uses: Within Activity Centers, along 25% of the Transparency Zone (30" to 8' above grade) ; within Transitional, along 15% of the Transparency Zone (30" to 8' above grade).
- Transparency for residential uses: ~~At least 10% of the entire residential façade for Single Family uses; at least 15% of the façade for all other housing types.~~

Table 3-10. Common Yard building setback chart per Street Type and Overlay.

Map Index	Street Type	Building Setback*
Activity Center Overlay		
	Mixed-Use	10' - 20'
	Landscape	10' min - no max
Transitional Overlay		
	Mixed-Use	10' min - no max
	Landscape	10' min - no max
Residential Overlay		
	Multifamily	10' - 20'
	Mixed Residential	10' - 25'
	Single Family	10' - 30'

Figure 3-22. Common Yard examples.



* Unenclosed porches and covered entries may project up to six feet into the required setback area.

See Section 3.0.4 for setback departure opportunities