

SITE ADDRESS
12615 NE 5TH AVENUE VANCOUVER, WA 98685

PROPERTY DESCRIPTION
LOT 3, "WOODCREEK" (G-190), IN A PORTION OF THE NE 1/4 OF THE SE 1/4 OF SECTION 27, T3N, R1E, N.M. CLARK COUNTY, WASHINGTON

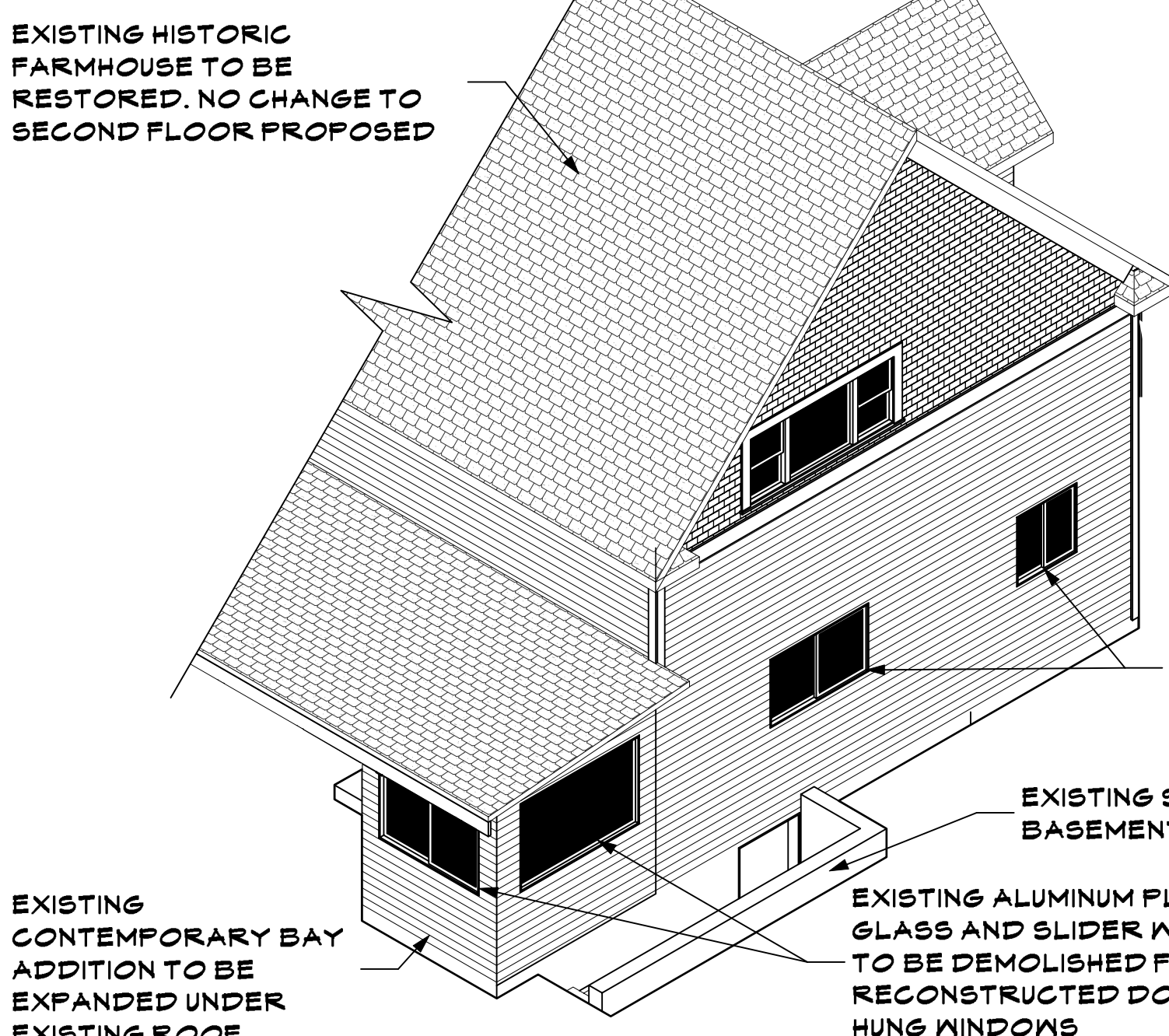
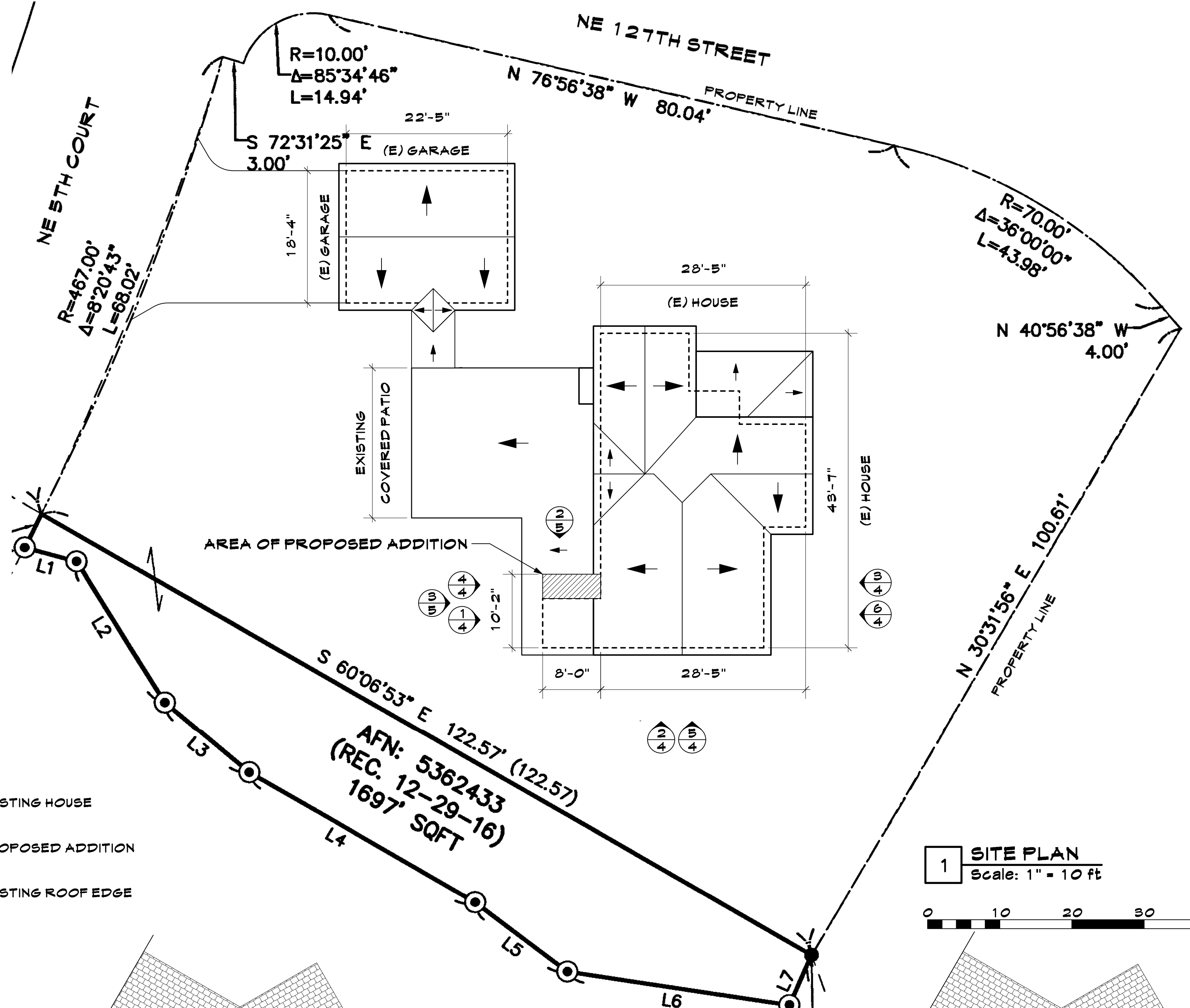
PROJECT PROPOSAL
REMODEL KITCHEN, PANTRY, BATHROOM, AND EXPANDED NOOK. TO INCLUDE NEW APPLIANCES, PLUMBING FIXTURES, LIGHTING, WINDOWS, CABINETRY, AND FLOORING.

DEVELOPMENT INFORMATION
OCCUPANCY = SINGLE FAMILY RESIDENTIAL
LOT SIZE = 13,883 SF
ZONING =
LOT COVERAGE ALLOWED =
EXISTING LOT COVERAGE = 2480 SF
TOTAL LOT COVERAGE PROPOSED = 2480 SF

GENERAL NOTES

- UNLESS NOTED OTHERWISE, ALL WORK SHALL CONFORM TO THE CURRENT EDITION OF THE WASHINGTON RESIDENTIAL BUILDING CODE. THE USE OF THESE PLANS IS SUBJECT TO LOCAL CODE REQUIREMENTS AND INTERPRETATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO VERIFY CONFORMANCE WITH LOCAL, STATE, AND NATIONAL BUILDING CODES. IN THE EVENT OF A CONFLICT BETWEEN APPLICABLE CODES AND REGULATIONS AND THE REFERENCE STANDARDS OF THESE PLANS AND SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- ANY REQUIRED STRUCTURAL WORK SHALL BE UNDERTAKEN UNDER THE DIRECTION OF A WASHINGTON STATE REGISTERED STRUCTURAL ENGINEER. MILLER CONSULTING ENGINEERS WILL BE THE ENGINEER OF RECORD ON THIS PROJECT. GENERAL STRUCTURAL NOTES AND CALCULATIONS WILL BE PROVIDED FOR ANY STRUCTURAL WORK. NOTIFY ROMAN DESIGN LLC IMMEDIATELY IF STRUCTURAL ISSUES ARE IDENTIFIED.
- CHANGES TO THE APPROVED PERMIT DRAWINGS SHALL BE VERIFIED BY THE BUILDING OFFICIAL PRIOR TO PROCEEDING WITH THE WORK. APPROVED CHANGES SHALL BE CONFIRMED IN WRITING BY THE INSPECTOR OR PLANS REVIEWER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATIONS OR DEVIATIONS FROM THE APPROVED PLANS WITHOUT WRITTEN CONFIRMATION FROM THE BUILDING OFFICIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR SAFE CONDITIONS AT THE WORK SITE AND FOR TEMPORARY SUPPORT OF THE BUILDING PRIOR TO COMPLETION OF THE VERTICAL AND LATERAL LOAD SYSTEMS. THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING OR OTHERWISE SUPPORT ALL PORTIONS OF THE STRUCTURE UNTIL ALL MEMBERS HAVE BEEN PERMANENTLY CONNECTED TOGETHER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT BUILDING, ADJACENT STRUCTURES, OCCUPANTS AND THE PUBLIC FROM FALLING DEBRIS OR EQUIPMENT.
- THE CONTRACTOR/BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROJECT, INCLUDING VERIFICATION OF EXISTING CONSTRUCTION AND MATERIALS, PRIOR TO BEGINNING ANY WORK AND TO NOTIFY ROMAN DESIGN LLC IMMEDIATELY OF ANY DISCREPANCIES WITH THE DIMENSIONS OR EXISTING CONDITIONS AS NOTED ON THESE PLANS. UTILITIES NOTED ON THE PLANS ARE FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY EXISTING UTILITIES WHETHER SHOWN ON THE DRAWINGS OR NOT. THE CONTRACTOR SHALL BEAR ALL EXPENSES TO REPAIR OR REPLACE UTILITIES OR OTHER PROPERTY DAMAGED DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR IS ADVISED TO VERIFY THE AVAILABILITY OF ALL MANUFACTURED PRODUCTS BEFORE PROCEEDING WITH CONSTRUCTION, ESPECIALLY THOSE ITEMS AFFECTING ROUGH OPENING DIMENSIONS OR OTHER DIMENSIONS ON THE PLANS. ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC., SHALL BE HANDLED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- THE CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES AND CONDITIONS EXCEPT AS SPECIFICALLY INDICATED OTHERWISE IN THE APPROVED PERMIT DRAWINGS.
- DRAWINGS AND WRITTEN SPECIFICATIONS ARE INTENDED TO PROVIDE THE BASIS FOR PROPER COMPLETION OF THE PROJECT SUITABLE FOR THE INTENDED USE OF THE OWNER. ITEMS NOT EXPRESSLY SET FORTH BUT WHICH ARE REASONABLY IMPLIED OR NECESSARY FOR THE PROPER PERFORMANCE OF THIS WORK SHALL BE INCLUDED. EXISTING CONSTRUCTION IS NOTED ON THE DRAWINGS AS "EXISTING" OR "EXIST." OR "(E)". ALL OTHER NOTES INDICATE NEW MATERIALS, PRODUCTS OR CONSTRUCTION.

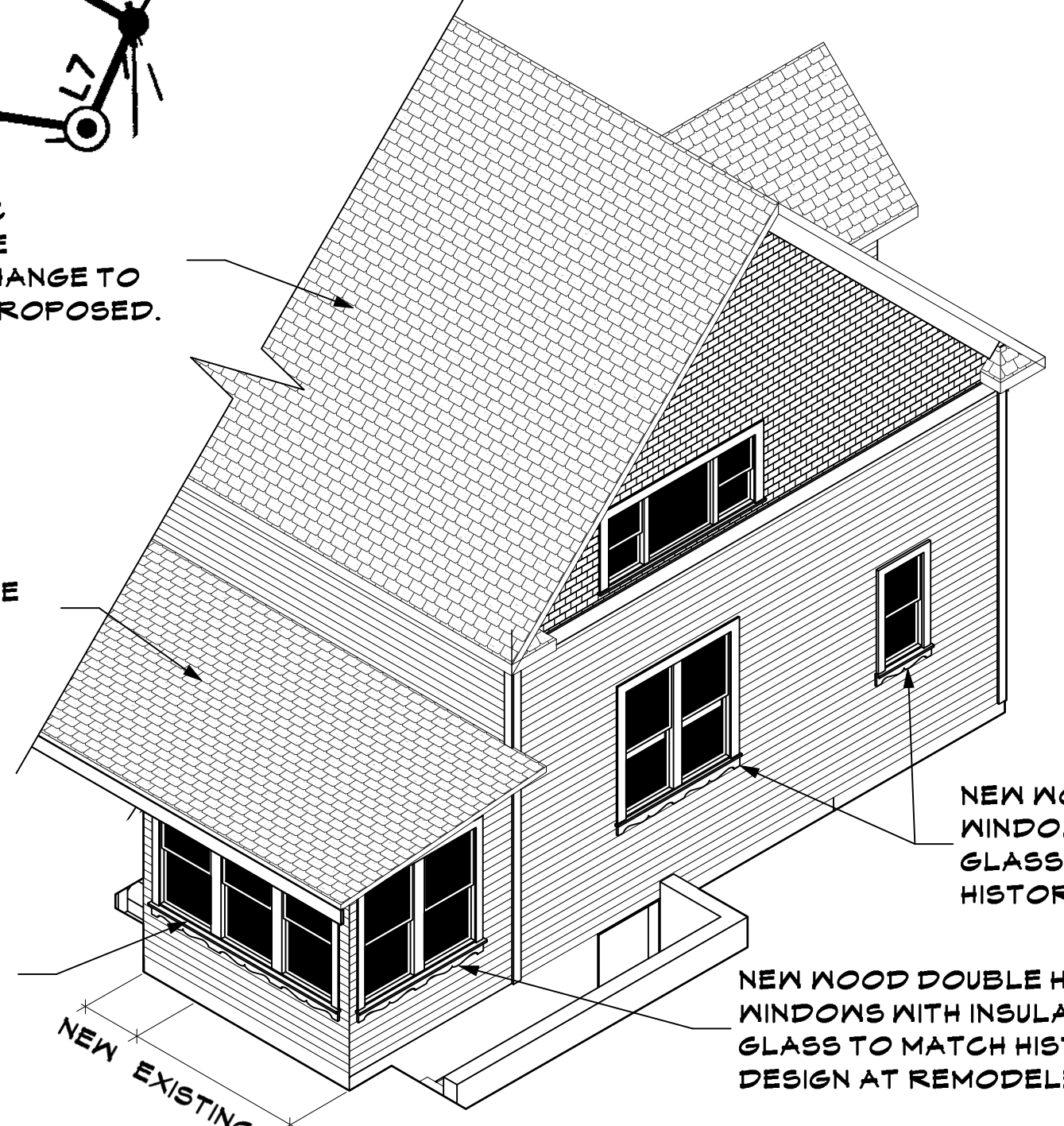
DRAWING INDEX
SHEET 0 - SITE PLAN
SHEET 1 - FOUNDATION PLAN & 1ST FLOOR PLAN - AS BUILT
SHEET 2 - 1ST FLOOR DEMO PLAN & AS PROPOSED PLAN
SHEET 3 - FOUNDATION PLAN - AS PROPOSED
SHEET 4 - EXTERIOR ELEVATIONS - AS BUILT & AS PROPOSED
SHEET 5 - SECTIONS & BAY ELEVATIONS
SHEET 6 - INTERIOR ELEVATIONS



EXISTING HISTORIC FARMHOUSE TO BE RESTORED. NO CHANGE TO SECOND FLOOR PROPOSED.

EXISTING ROOF, NO CHANGE PROPOSED.

NEW WOOD DOUBLE HUNG WINDOWS IN RECONFIGURED OPENINGS



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Date	Revision	Project ID	Drawing Code	CAD File Name	First Date
5.20.19					

Designed By	Drawn By	Checked By	Reviewed By	Submitted By	Project Manager
					ROMAN

Design Firm
ROMAN DESIGN LLC
422 NW 15TH AVE #156
PORTLAND, OR 97209
503-998-6095

Consultant

Project Title
KEMP HOUSE
12615 NE 5TH AVENUE
VANCOUVER, WA 98685

Drawing Title
SITE PLAN

Scale
Sheet Scale

Drawing No.
0
of

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No.	Date	Issue Notes
A		
B		
C		

Date	Revision	Project ID	Drawing Code	CAD File Name	Plot Date
5.20.19					

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					ROMAN

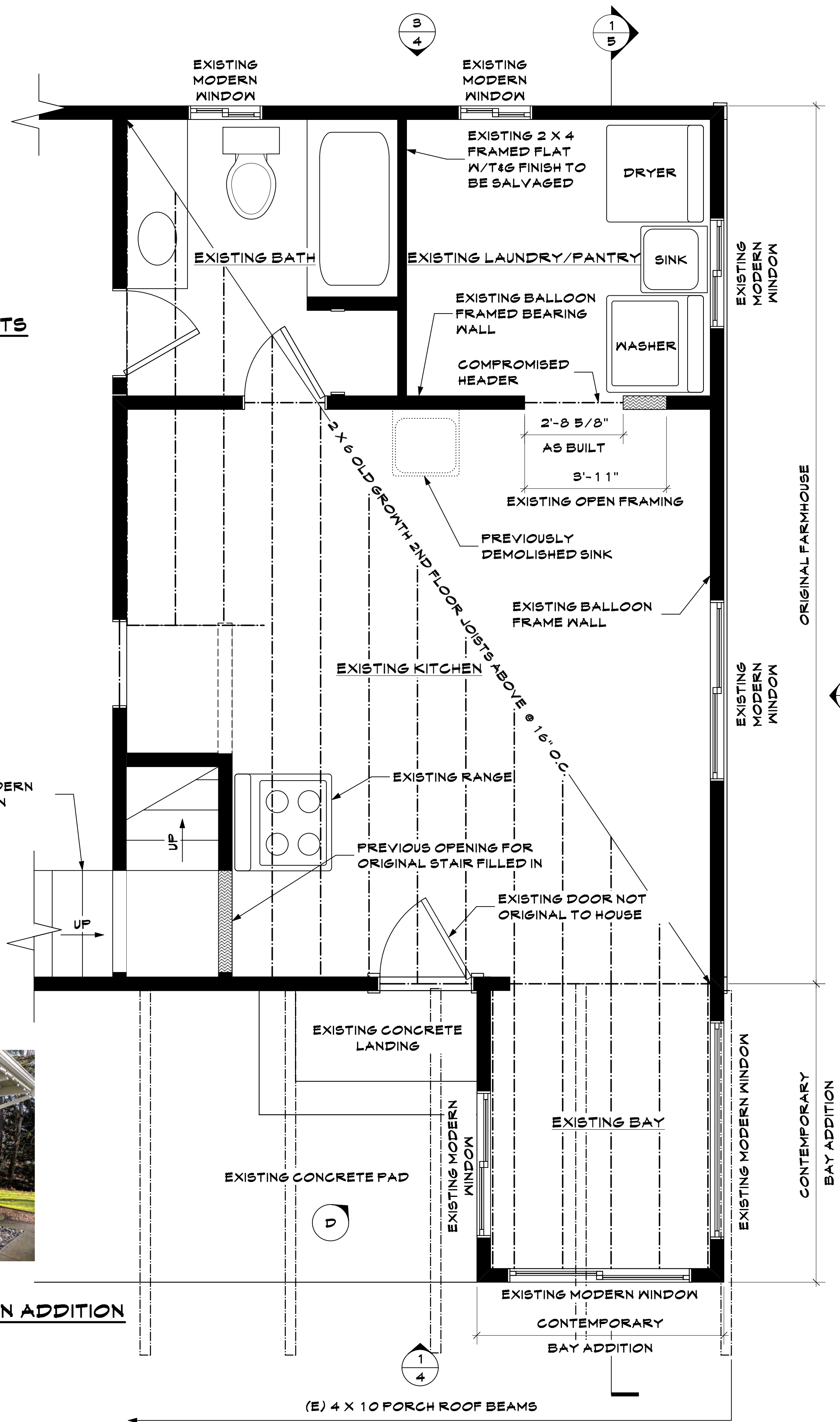
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 503-998-6095

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 VANCOUVER, WA 98685

Consultant
FOUNDATION PLAN - AS BUILT

Scale: Sheet Scale

Drawing No. 1 of 1



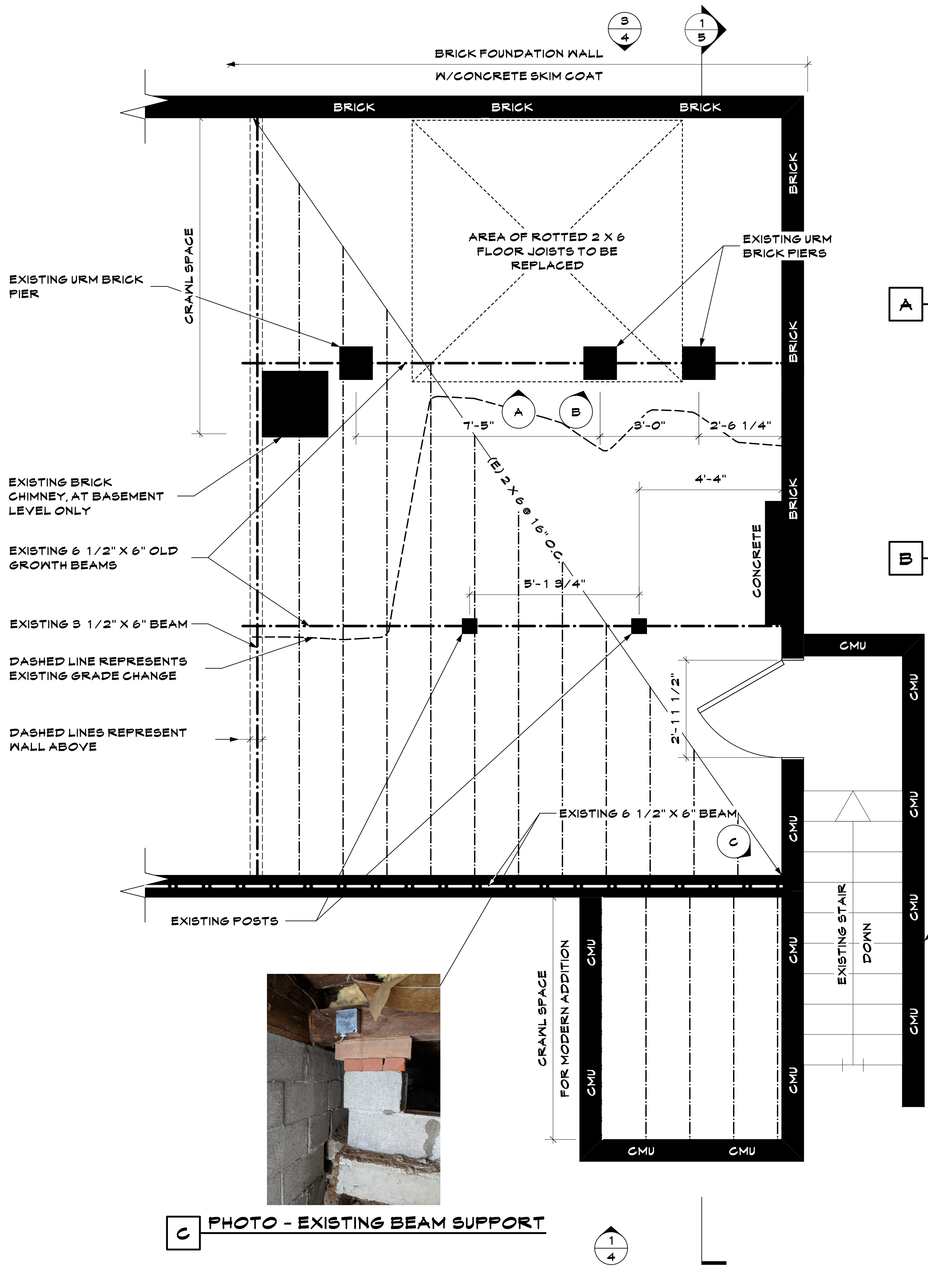
A PHOTO - ROTTED FLOOR JOISTS



B PHOTO - TYPICAL BRICK PIER



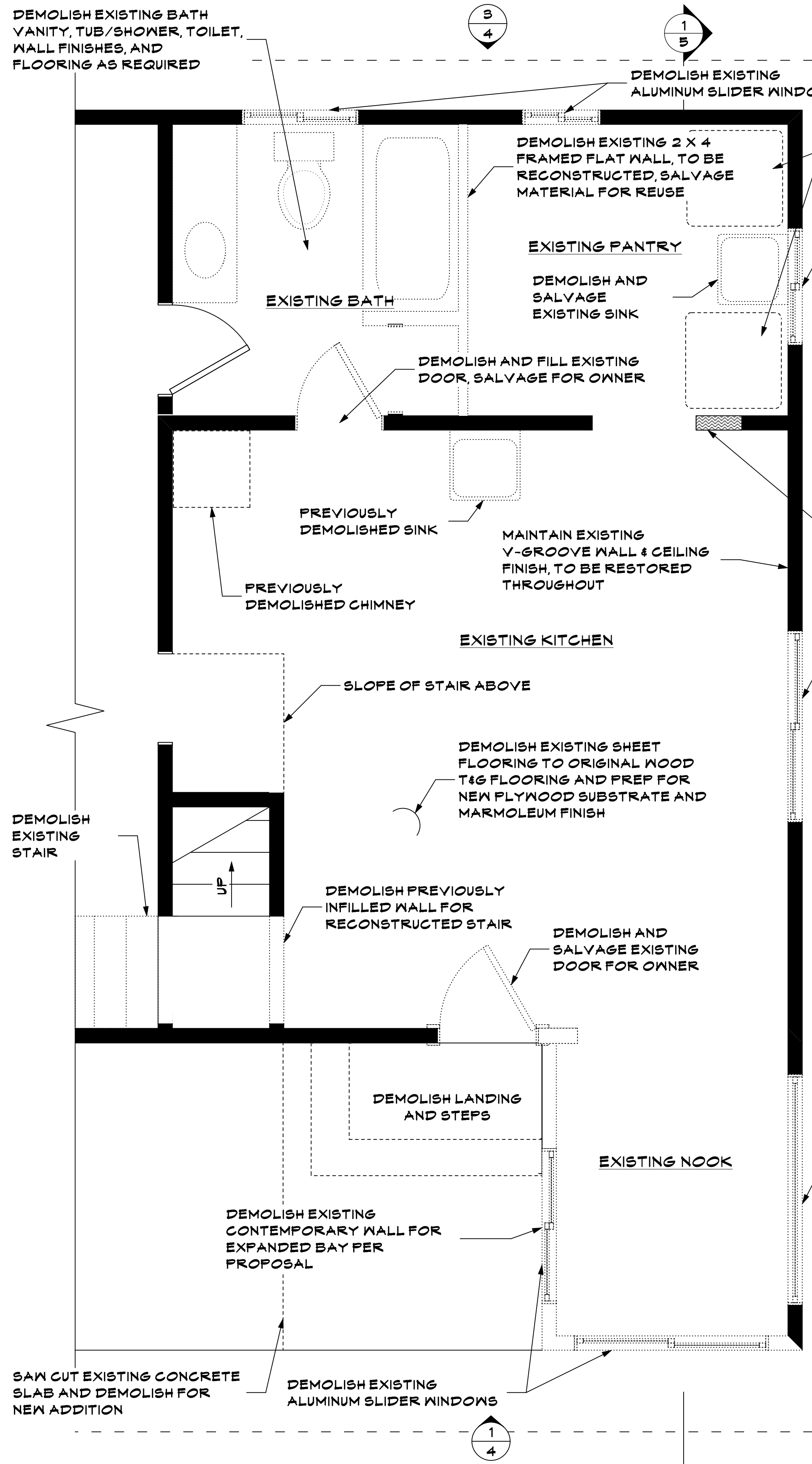
D PHOTO - EXISTING MODERN ADDITION



C PHOTO - EXISTING BEAM SUPPORT



DEMOLISH EXISTING BATH VANITY, TUB/SHOWER, TOILET, WALL FINISHES, AND FLOORING AS REQUIRED



1 FIRST FLOOR DEMO PLAN
Scale: 1/2" = 1'-0"



NEW TOILET LOCATION, CONNECT TO EXISTING WASTE LINE IN BASEMENT, VENT TO ROOF TYPICAL FOR ALL PLUMBING FIXTURES

FREE STANDING FURNITURE, NOT TOO TALL (LINEN CABINET)

UPPER CABINET LINE
DEEP UPPER CABINET FOR MICROWAVE AND COFFEE MAKER

DASHED LINE REPRESENTS STAIR ABOVE

NEW CABINET W/DRAWERS THAT EXTEND BELOW STAIR

PATCH FLOOR AT DEMOLISHED STAIR

INFILL FRAMING AND PATCH WALL AT DEMOLISHED STAIR

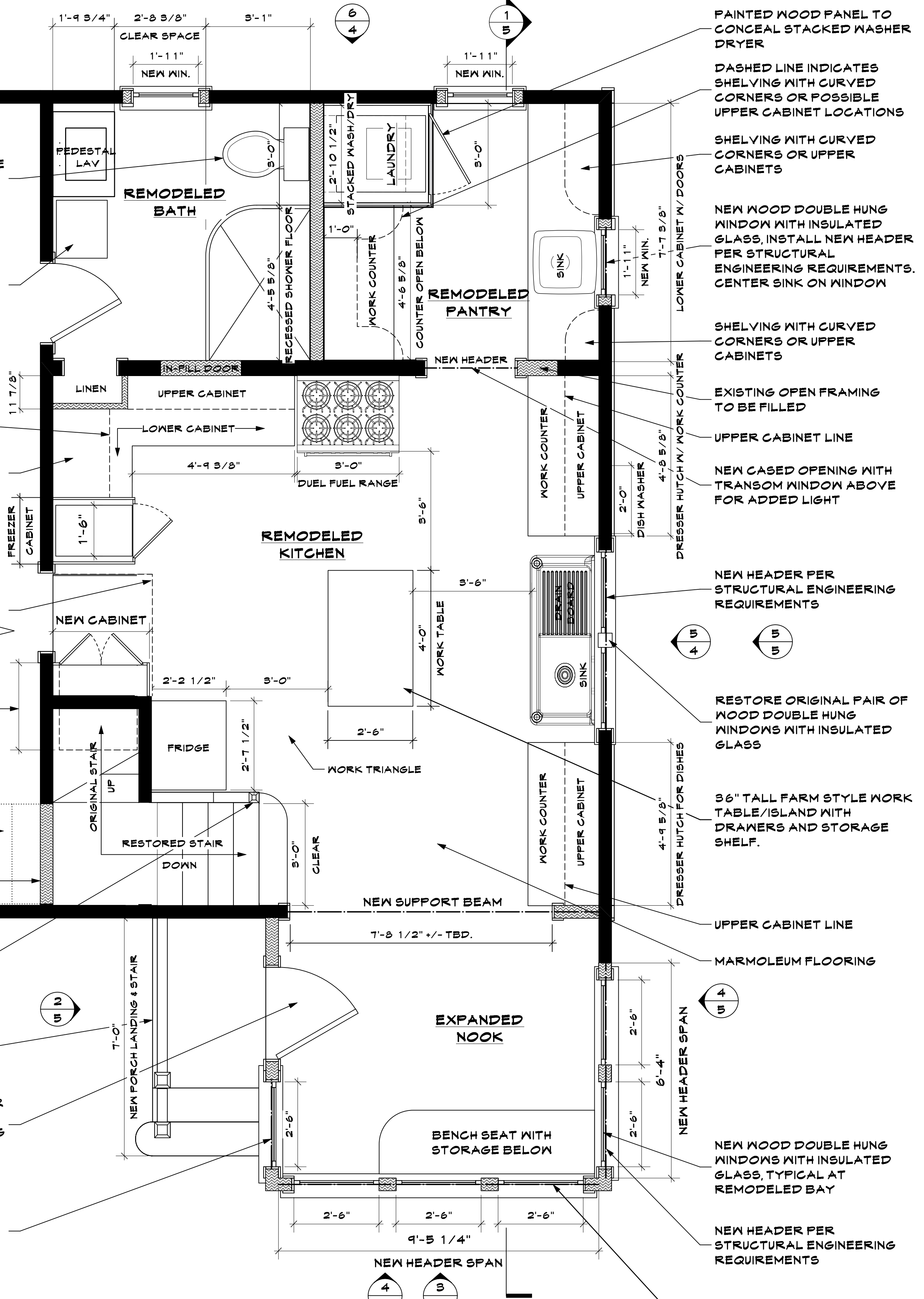
PULL BACK NEWEL POST AND CURVE BOTTOM STEP FOR INCREASED CLEARANCE AT PINCH POINT.

36" TALL WOOD GUARDRAIL

EXPAND EXISTING BAY UNDER THE EXISTING ROOF STRUCTURE PER ENGINEERING REVIEW AND DETAILS

NEW HEADER PER STRUCTURAL ENGINEERING REQUIREMENTS

DASHED LINE INDICATES EXISTING ROOF LINE ABOVE



2 FIRST FLOOR PLAN - AS PROPOSED
Scale: 1/2" = 1'-0"

PAINTED WOOD PANEL TO CONCEAL STACKED WASHER DRYER
DASHED LINE INDICATES SHELVING WITH CURVED CORNERS OR POSSIBLE UPPER CABINET LOCATIONS
SHELVING WITH CURVED CORNERS OR UPPER CABINETS
NEW WOOD DOUBLE HUNG WINDOW WITH INSULATED GLASS, INSTALL NEW HEADER PER STRUCTURAL ENGINEERING REQUIREMENTS. CENTER SINK ON WINDOW
SHELVING WITH CURVED CORNERS OR UPPER CABINETS
EXISTING OPEN FRAMING TO BE FILLED
UPPER CABINET LINE
NEW CASED OPENING WITH TRANSOM WINDOW ABOVE FOR ADDED LIGHT
NEW HEADER PER STRUCTURAL ENGINEERING REQUIREMENTS
RESTORE ORIGINAL PAIR OF WOOD DOUBLE HUNG WINDOWS WITH INSULATED GLASS
36" TALL FARM STYLE WORK TABLE/ISLAND WITH DRAWERS AND STORAGE SHELF.
UPPER CABINET LINE
MARMOLEUM FLOORING
NEW WOOD DOUBLE HUNG WINDOWS WITH INSULATED GLASS, TYPICAL AT REMODELED BAY
NEW HEADER PER STRUCTURAL ENGINEERING REQUIREMENTS
VERIFY HEADER FOR FULL LENGTH SPAN ACROSS ENTIRE BAY WINDOW FOR WEIGHTED SASH



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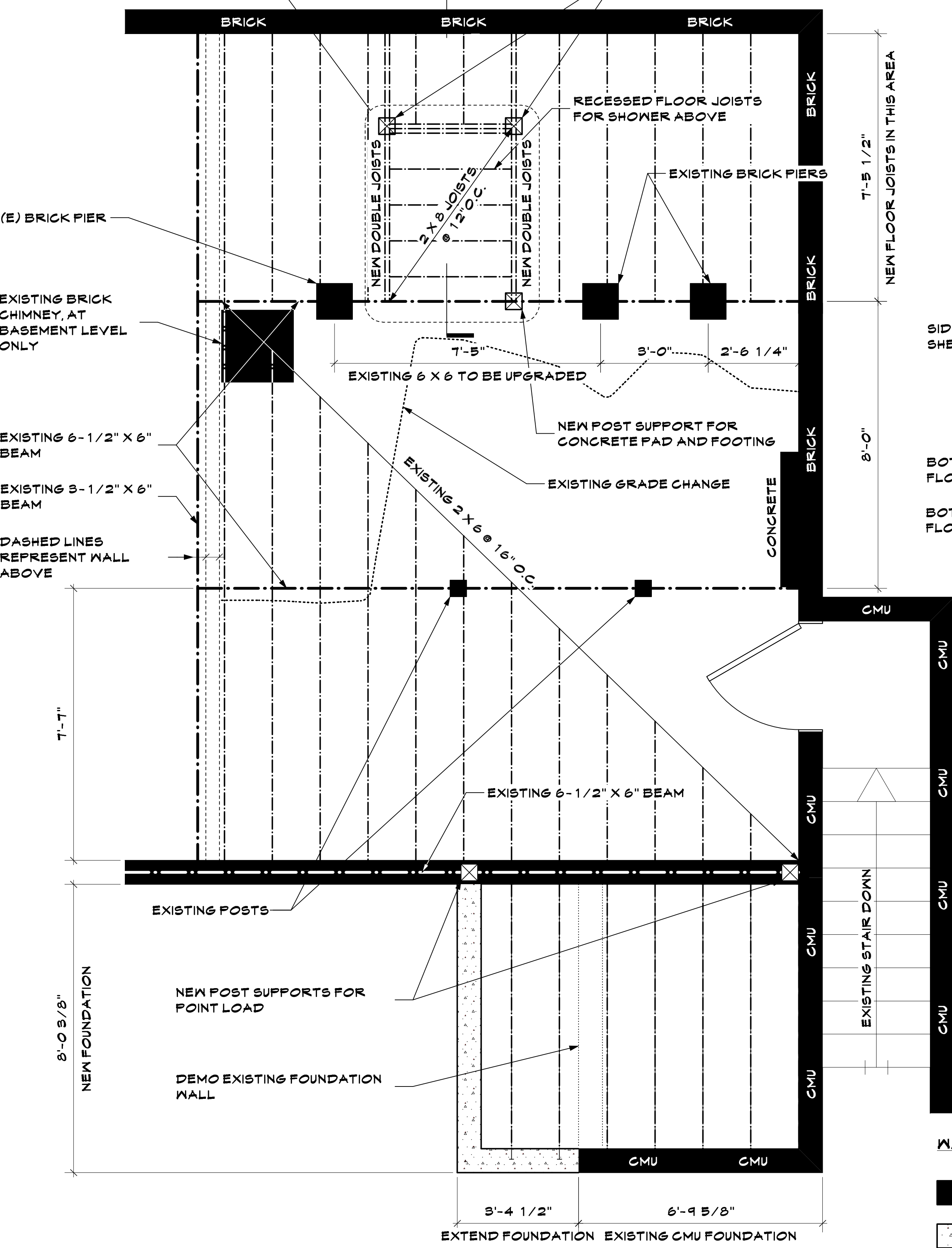
Design Firm: **ROMAN DESIGN LLC**
422 NW 15TH AVE #156
PORTLAND, OR 97209
503-998-6095

Project Title: **KEMP HOUSE**
12615 NE 5TH AVENUE
VANCOUVER, WA 98685

Scale: **Sheet Scale**

Drawing No.: **2**
of

DASHED LINE REPRESENTS AREA OF PROPOSED STEP-DOWN SHOWER



1 FOUNDATION PLAN - AS PROPOSED
 Scale: 1/2" = 1'-0"

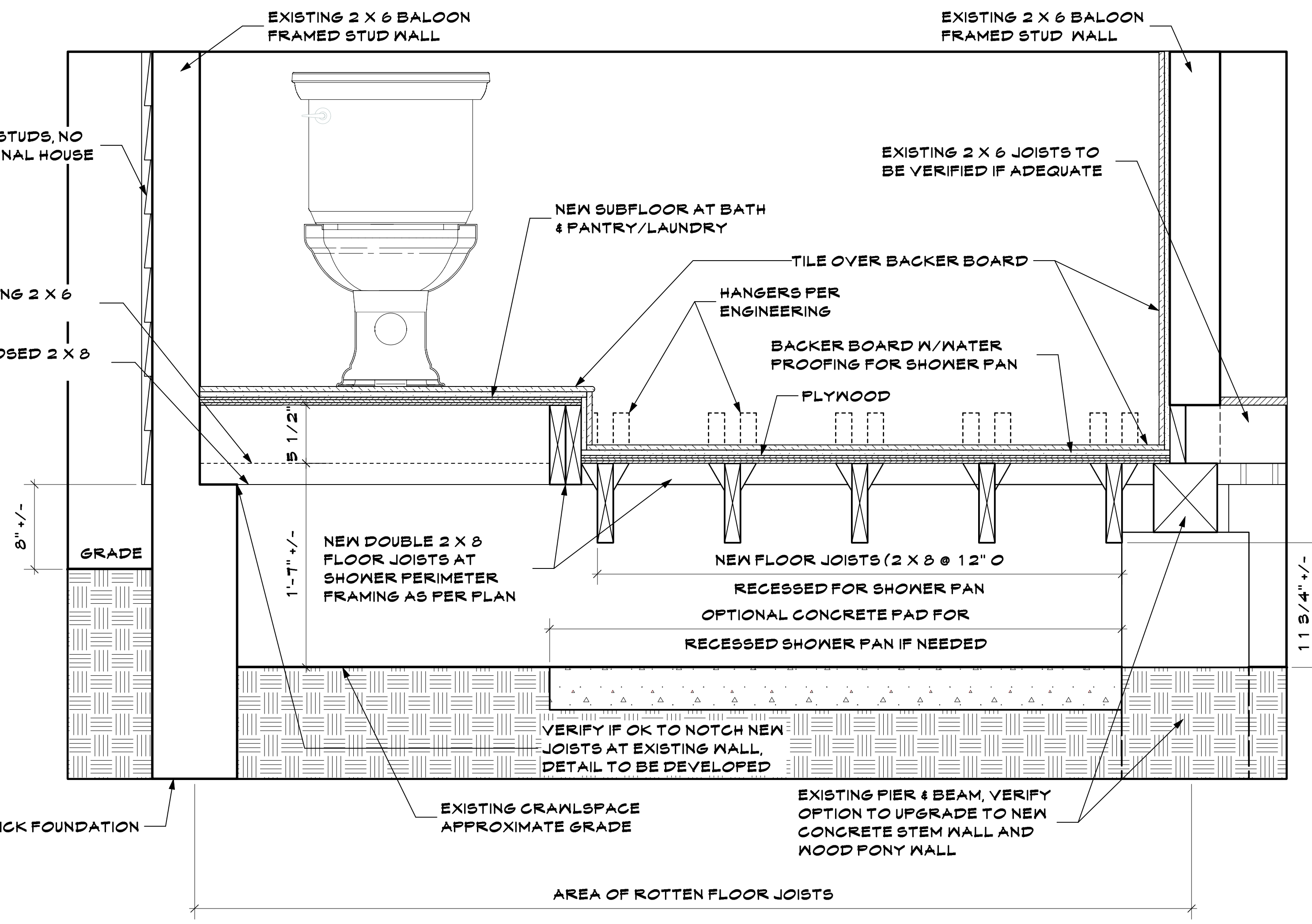
- WALL KEY**
- = EXISTING WALL
 - = NEW CONCRETE WALL
 - OR
 - = NEW CMU WALL



SIDING NAILED TO STUDS, NO SHEATHING @ ORIGINAL HOUSE

BOTTOM OF EXISTING 2 X 6 FLOOR JOIST

BOTTOM OF PROPOSED 2 X 8 FLOOR JOIST



2 SECTION AT RECESSED SHOWER FLOOR
 Scale: 1 1/2" = 1'-0"

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Date	Revision	Project ID	Drawing Code	CAD File Name	First Date	No.	Date	Issue Notes
5.28.19						C		
						B		

Designed By
 Drawn By
 Checked By
 Reviewed By
 Submitted By
 Project Manager

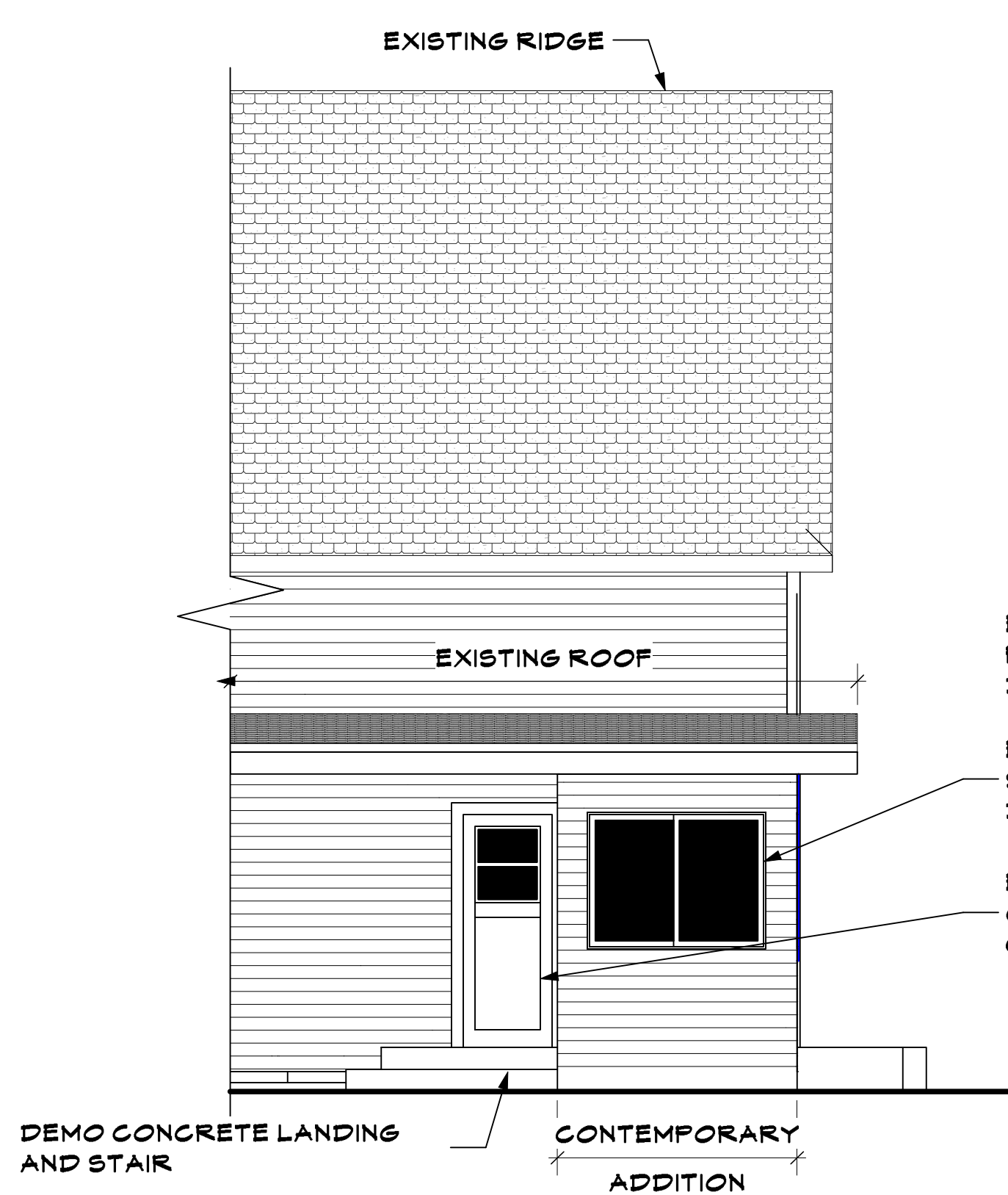
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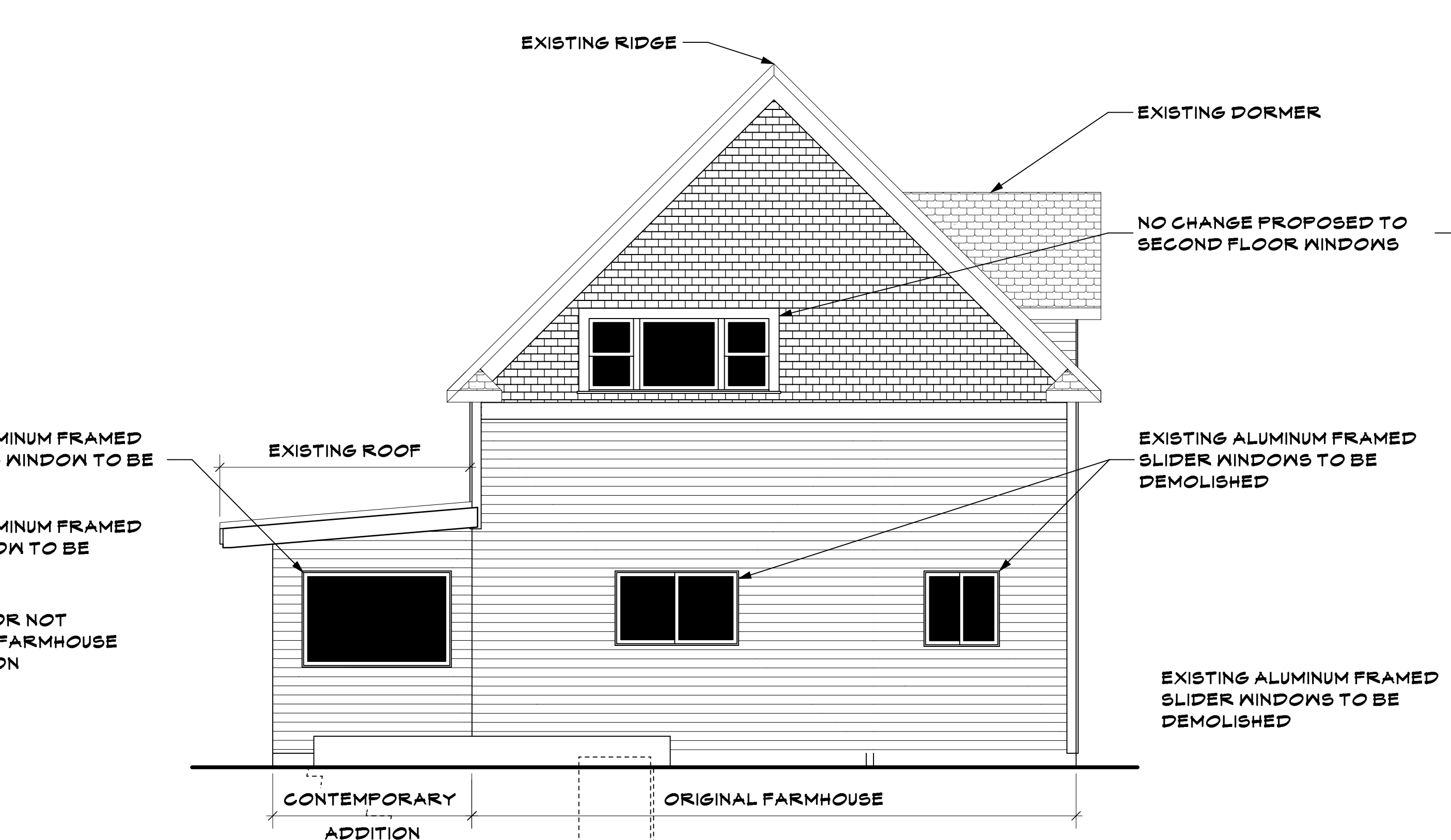
Drawing Title
EXTERIOR ELEVATIONS

Scale
 Sheet Scale

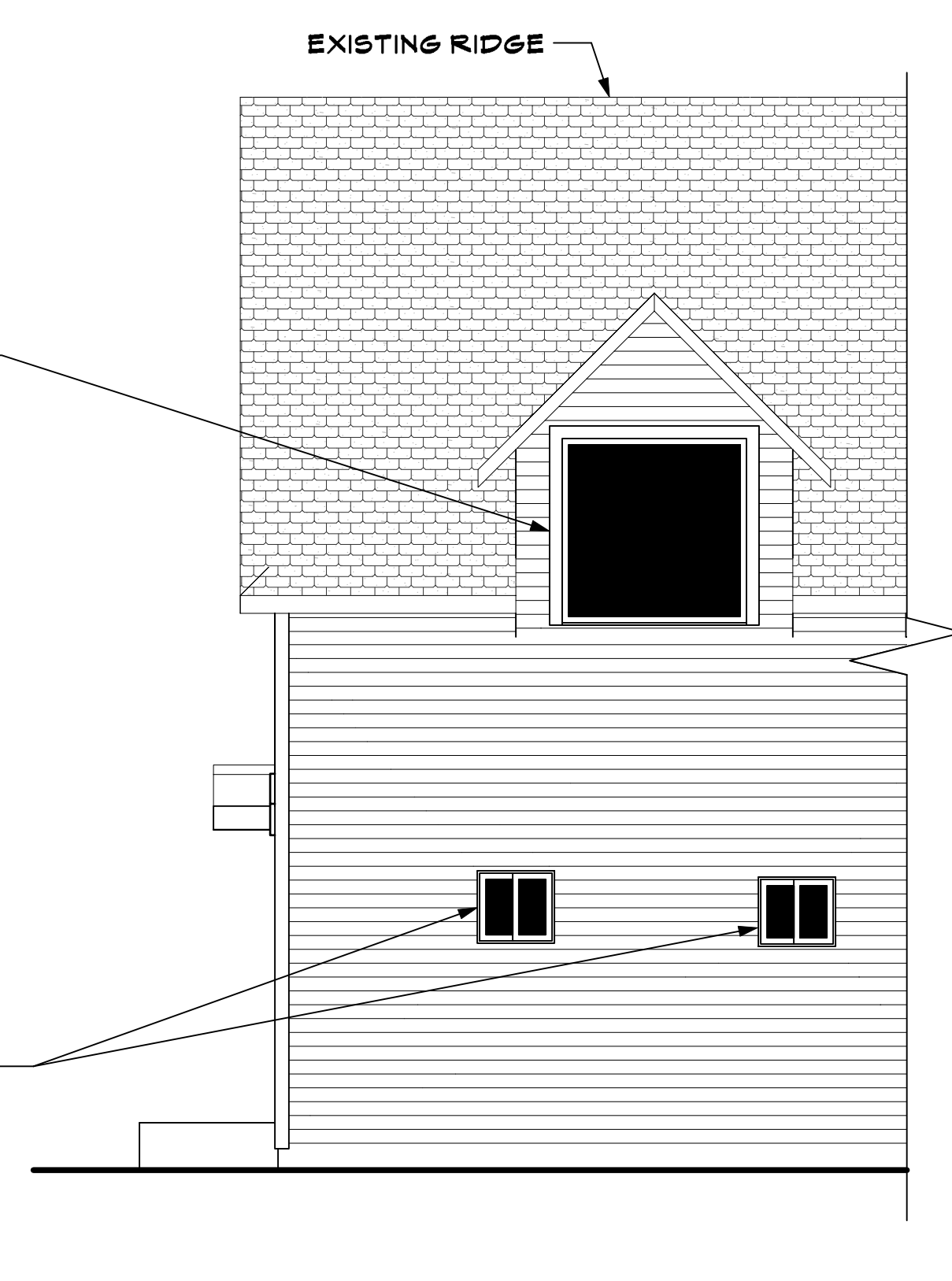
Drawing No.
4
 of



1 WEST ELEVATION - AS BUILT
 Scale: 1/4" = 1'-0"

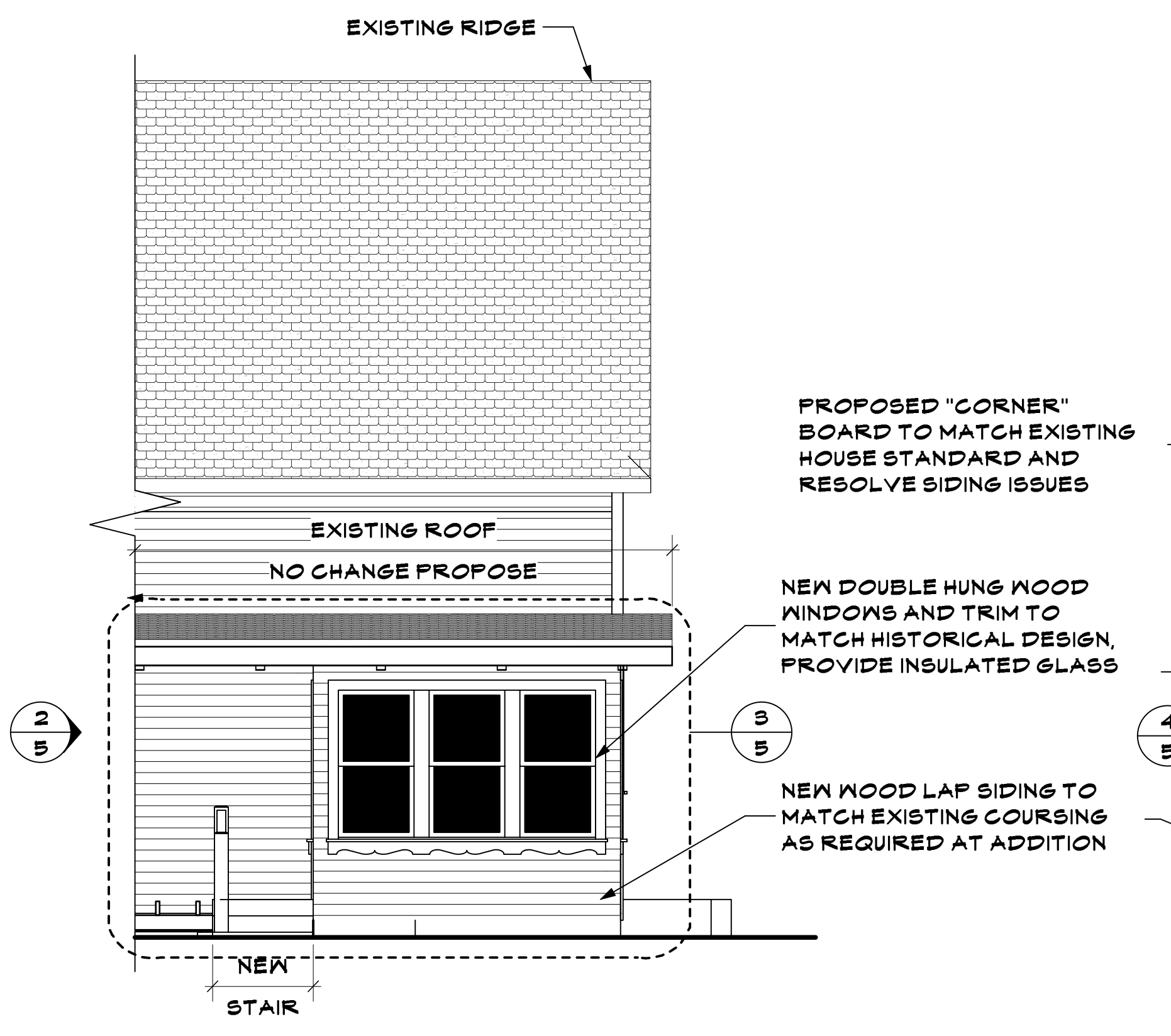


2 SOUTH ELEVATION - AS BUILT
 Scale: 1/4" = 1'-0"

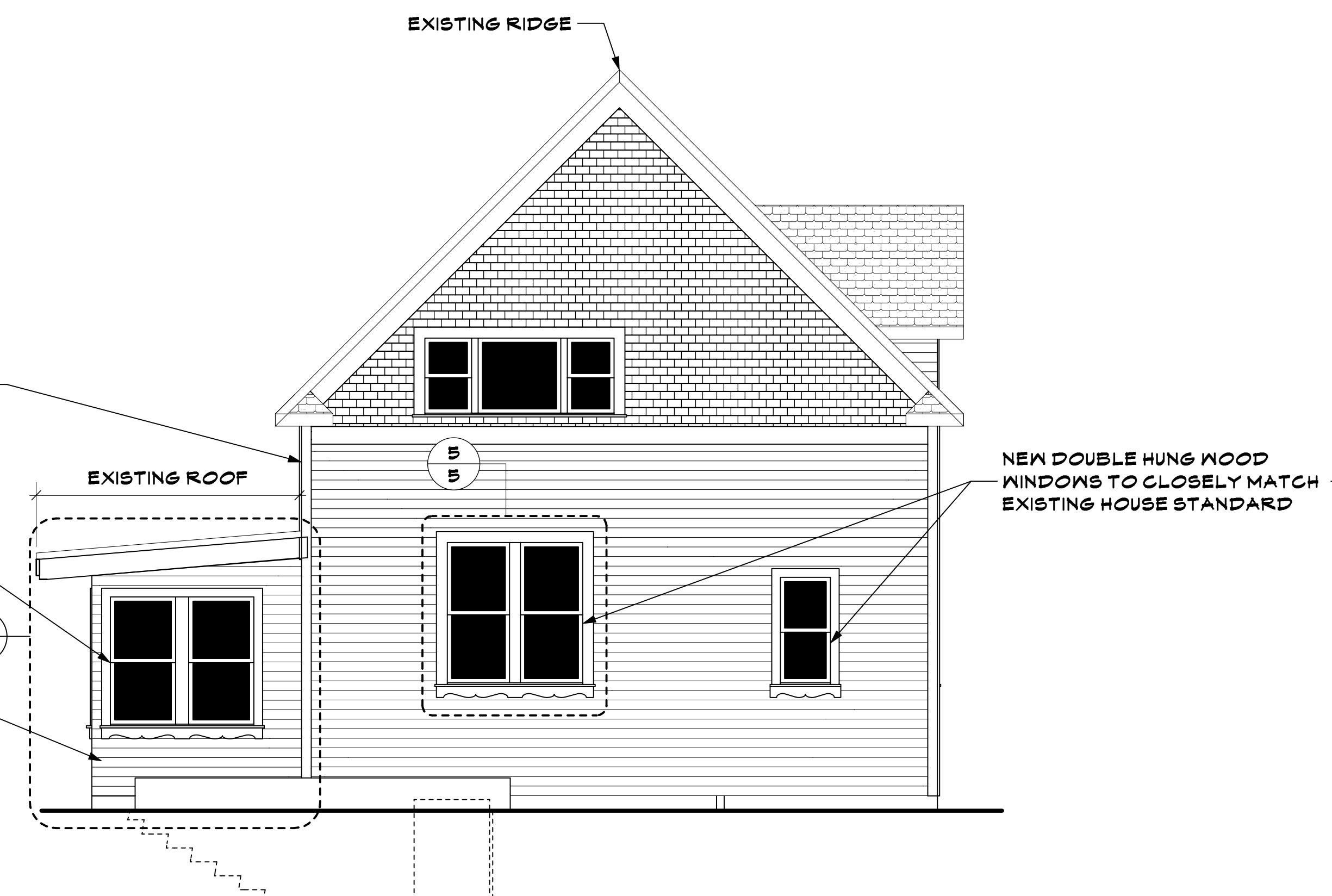


3 EAST ELEVATION - AS BUILT
 Scale: 1/4" = 1'-0"

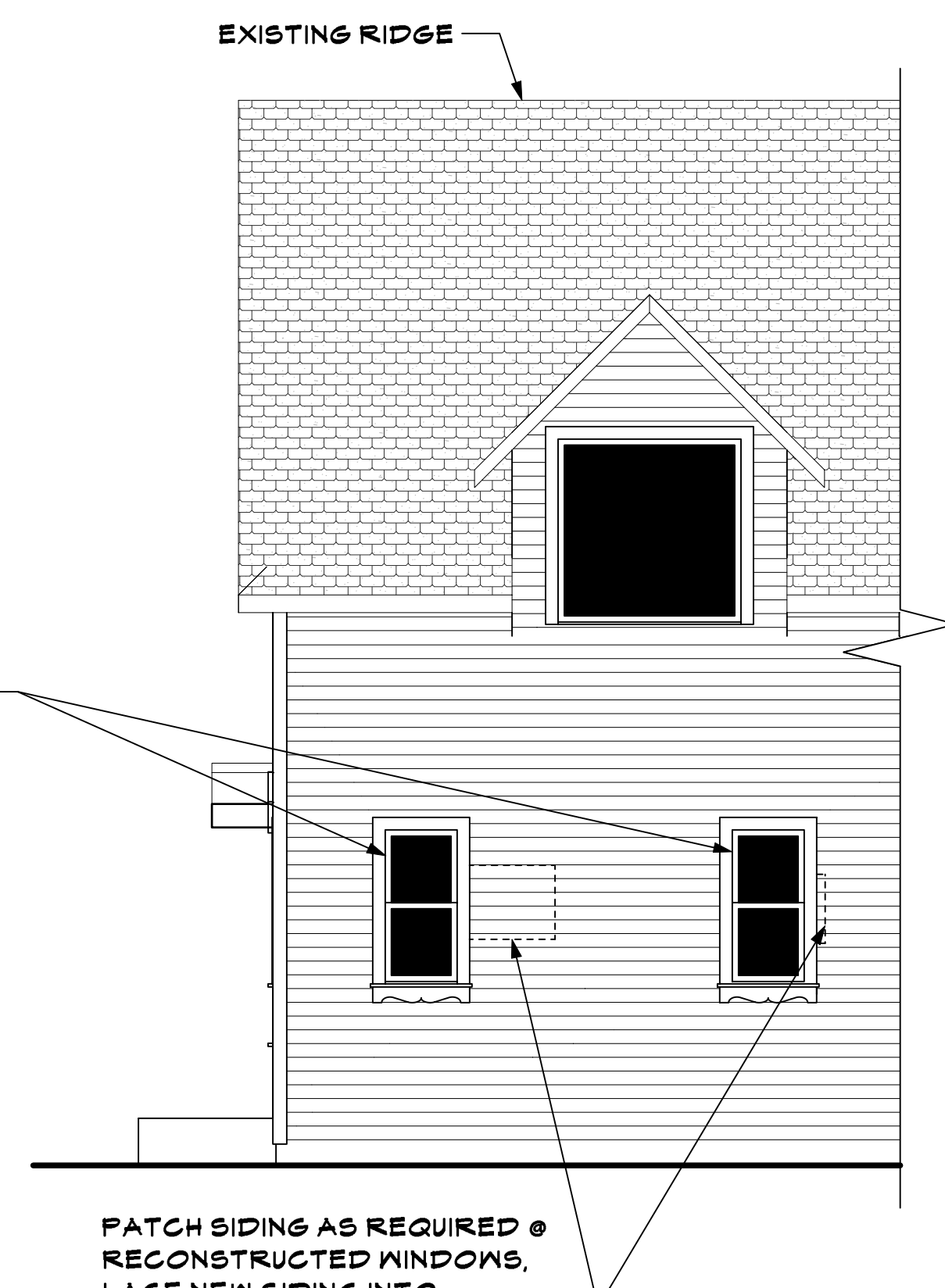
DASHED LINE REPRESENTS STAIR AND DOOR TO BASEMENT



4 WEST ELEVATION - AS PROPOSED
 Scale: 1/4" = 1'-0"



5 SOUTH ELEVATION - AS PROPOSED
 Scale: 1/4" = 1'-0"



6 EAST ELEVATION - AS PROPOSED
 Scale: 1/4" = 1'-0"

DASHED LINE REPRESENTS STAIR AND DOOR TO BASEMENT

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Issue Notes

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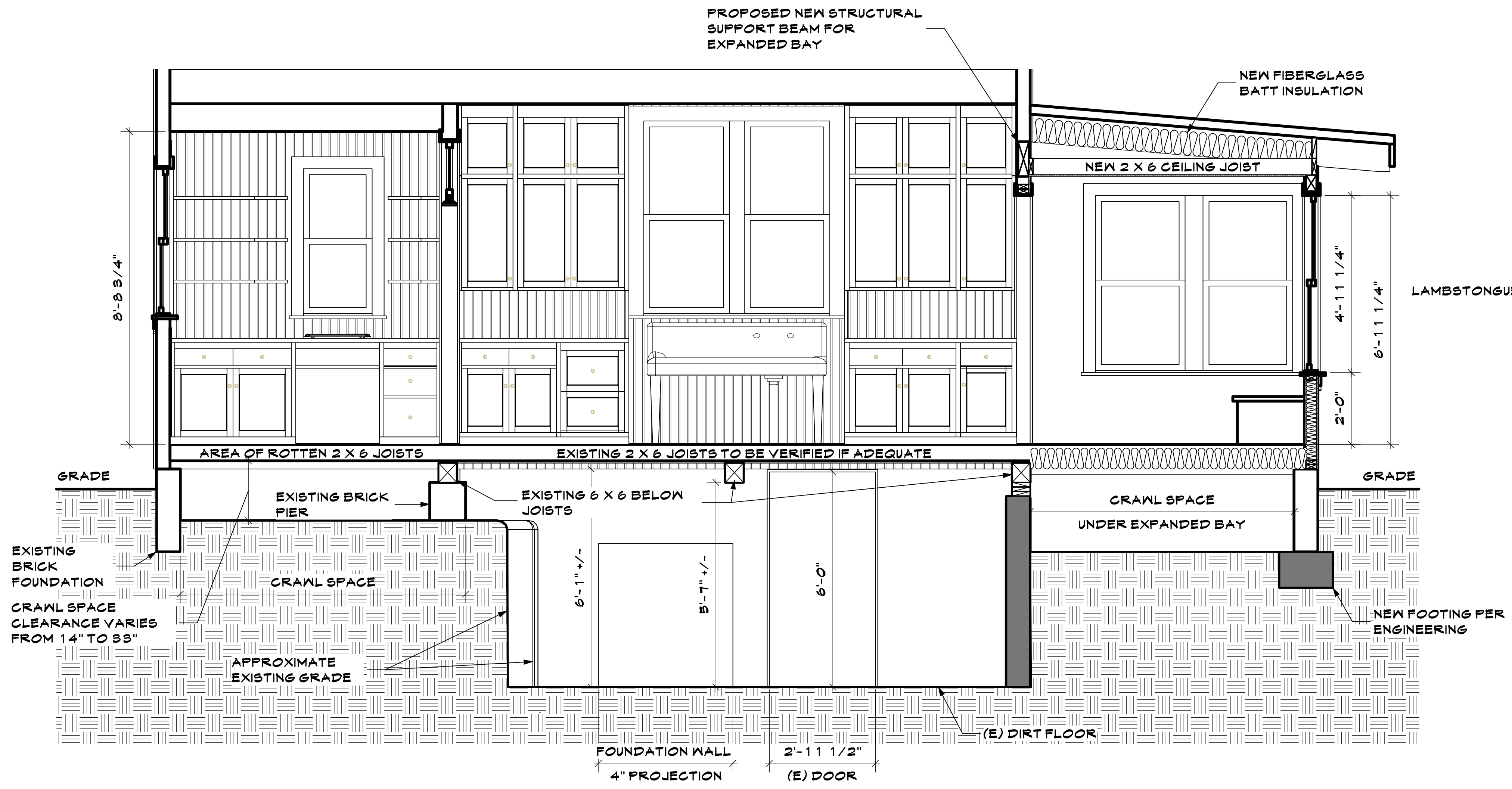
Designed By: ROMAN
 Drawn By:
 Checked By:
 Reviewed By:
 Submitted By:
 Project Manager: ROMAN

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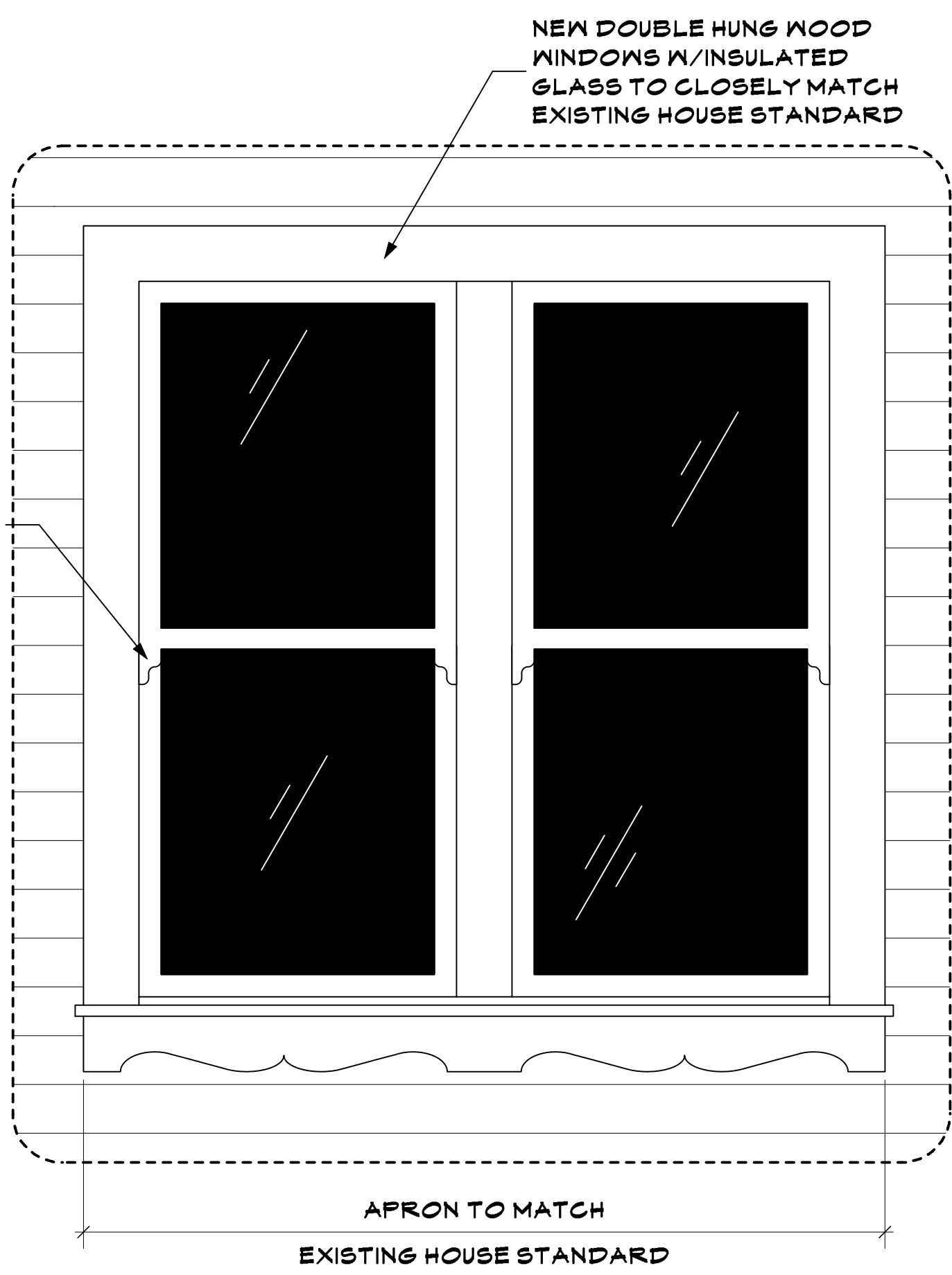
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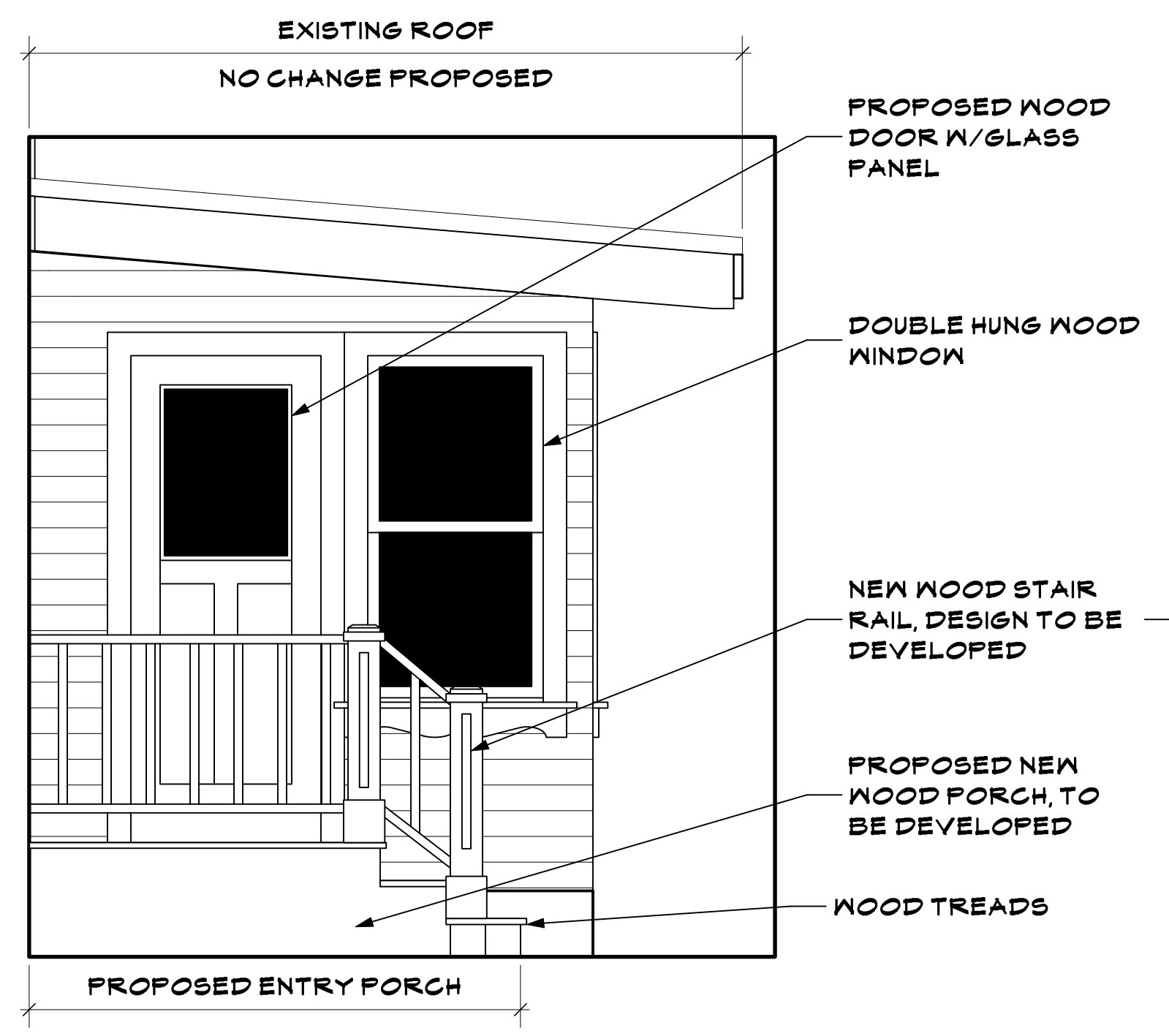
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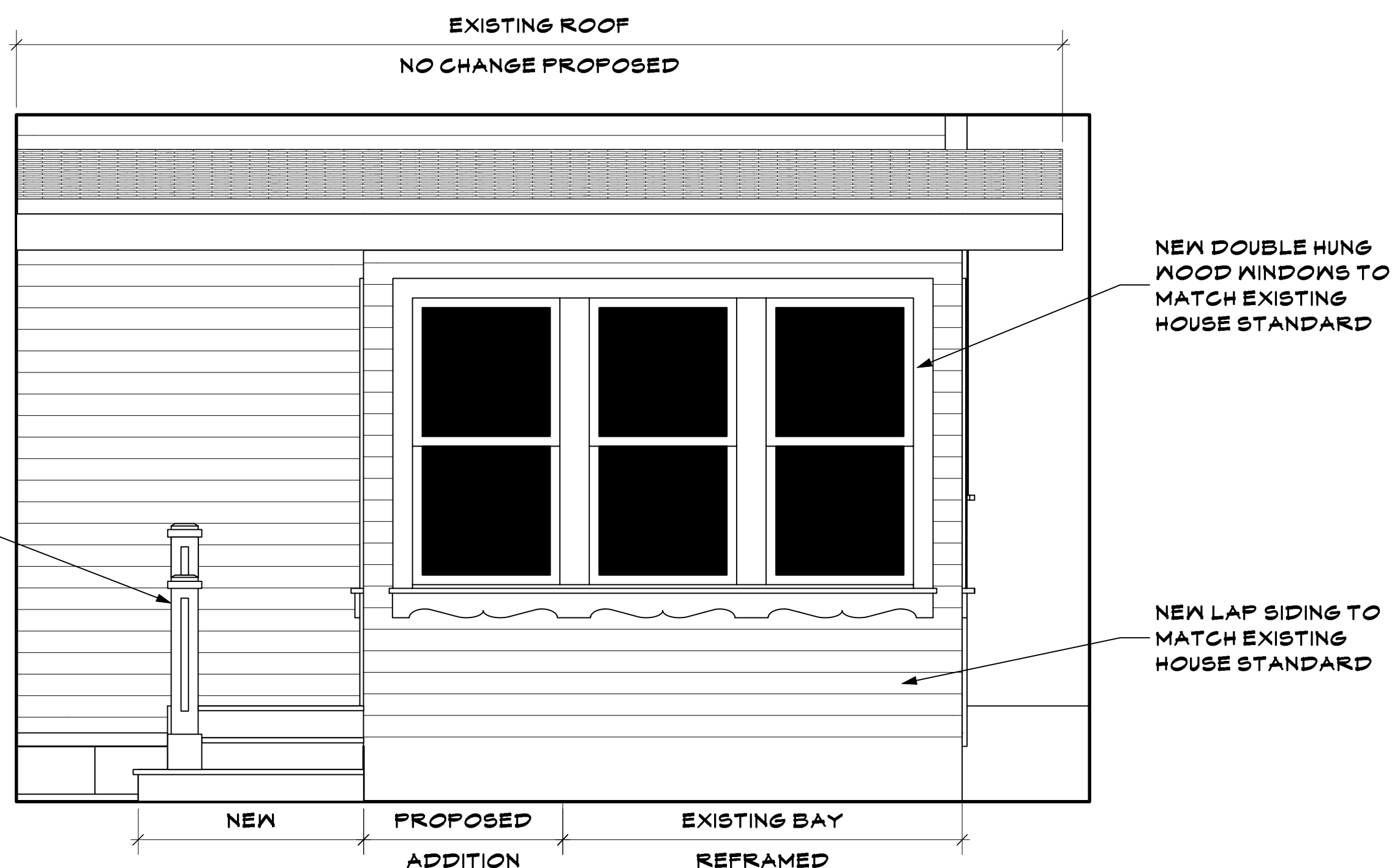
1 SECTION LOOKING SOUTH - AS PROPOSED
 Scale: 1/2" = 1'-0"



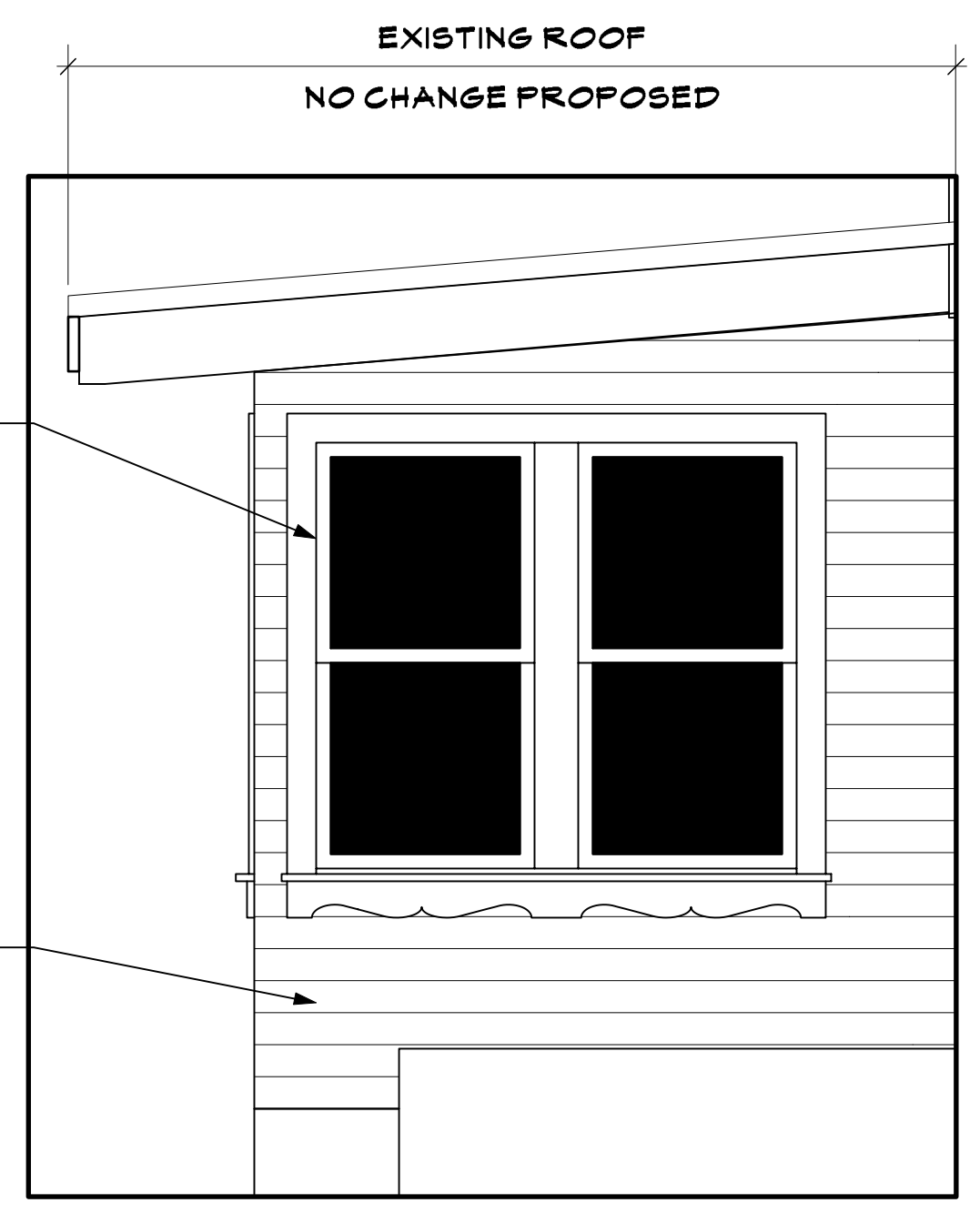
5 WINDOW DETAIL - EXTERIOR
 Scale: 1" = 1'-0"



2 BAY NORTH ELEV - AS PROPOSED
 Scale: 1/2" = 1'-0"



3 BAY WEST ELEV - AS PROPOSED
 Scale: 1/2" = 1'-0"



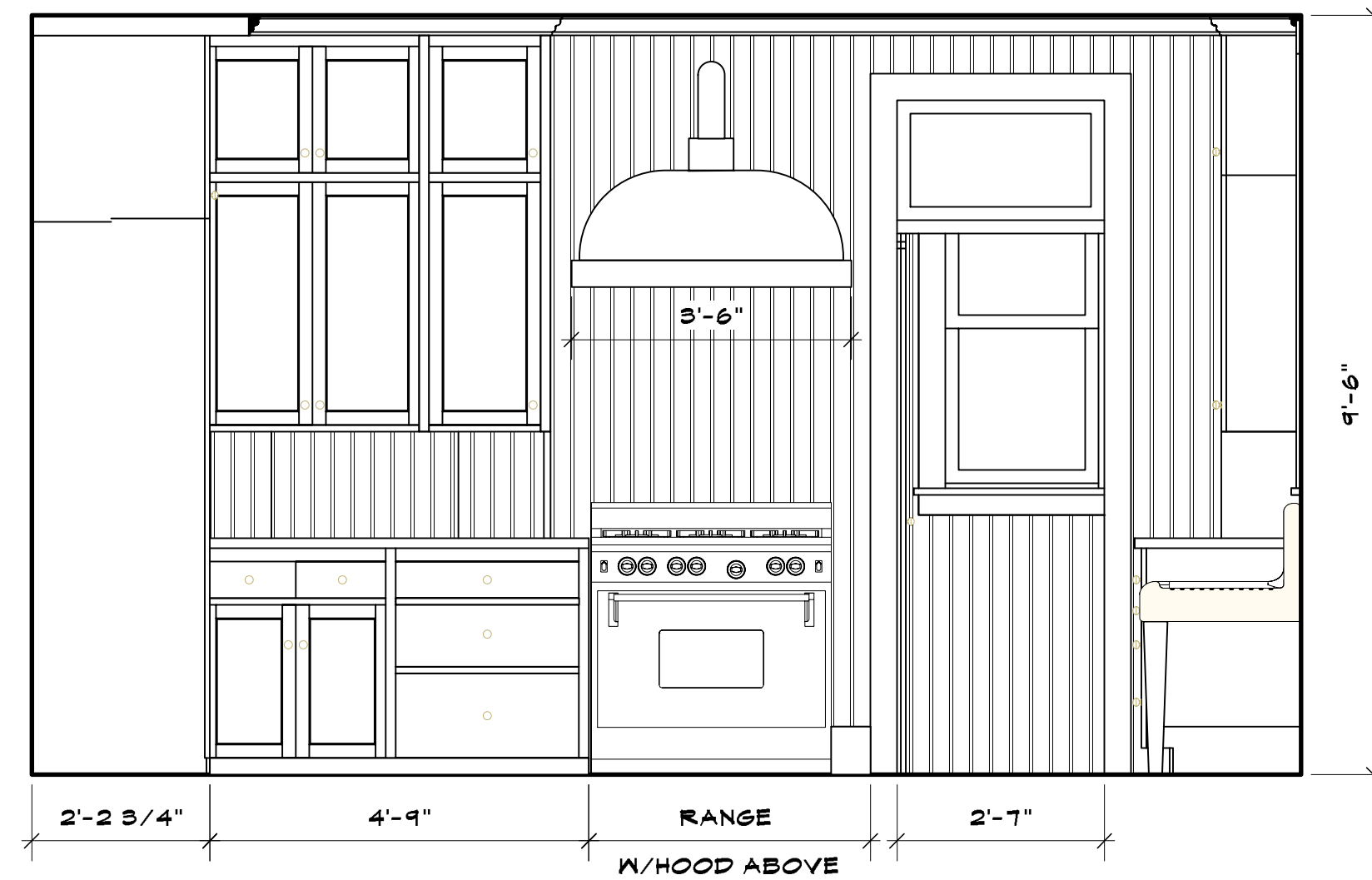
4 BAY SOUTH ELEV - AS PROPOSED
 Scale: 1/2" = 1'-0"



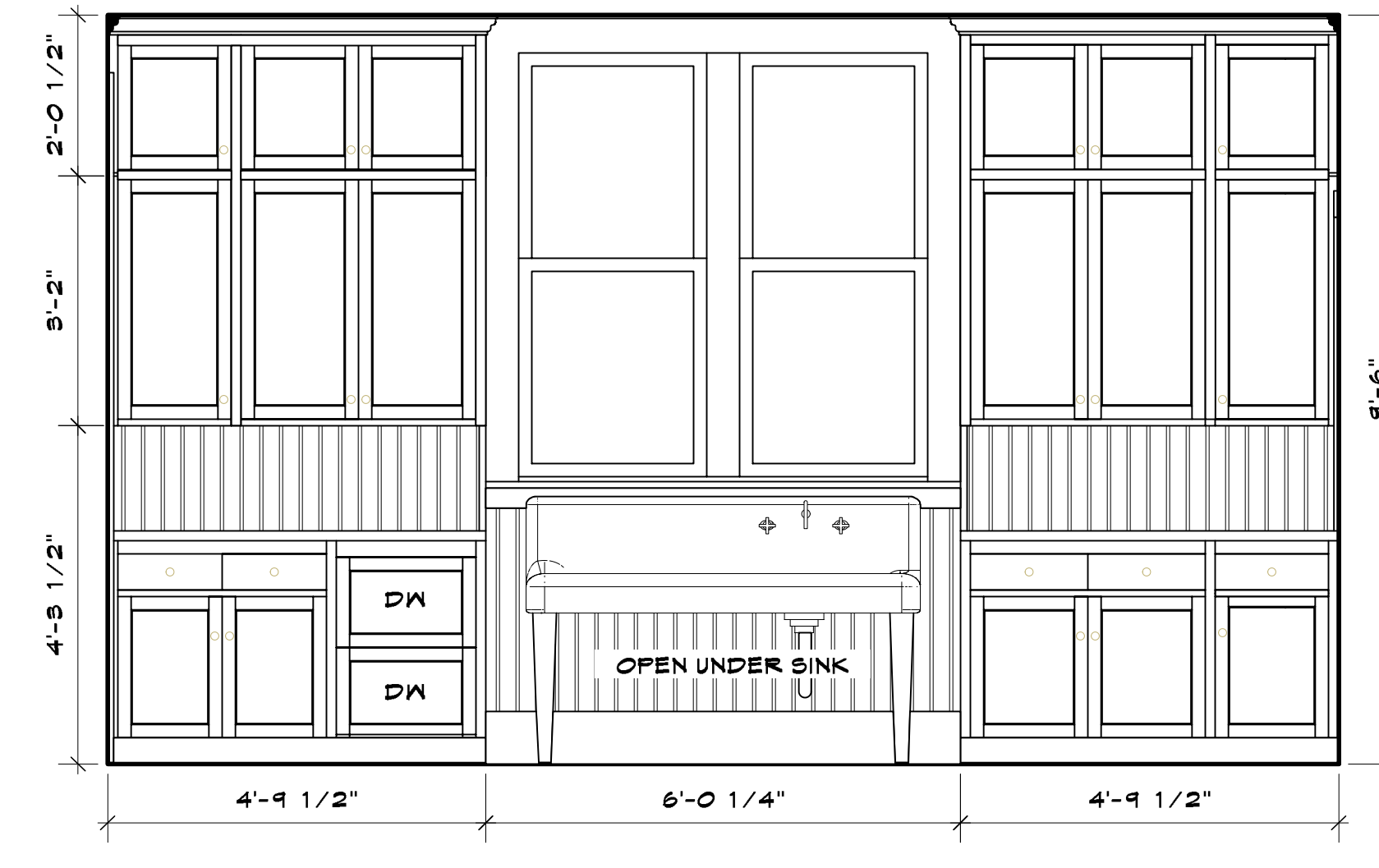
1 PANTRY LOOKING EAST
Scale: 1/2" = 1'-0"



2 PANTRY LOOKING SOUTH
Scale: 1/2" = 1'-0"



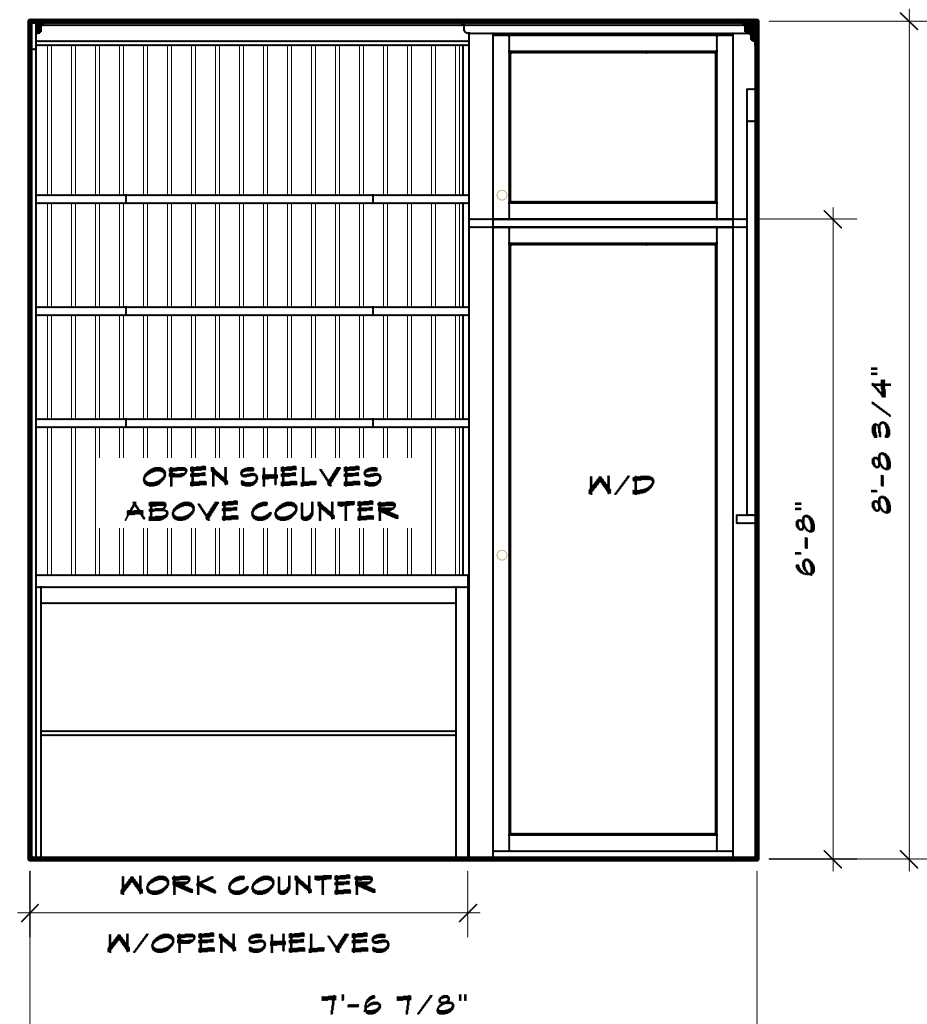
5 KITCHEN LOOKING EAST
Scale: 1/2" = 1'-0"



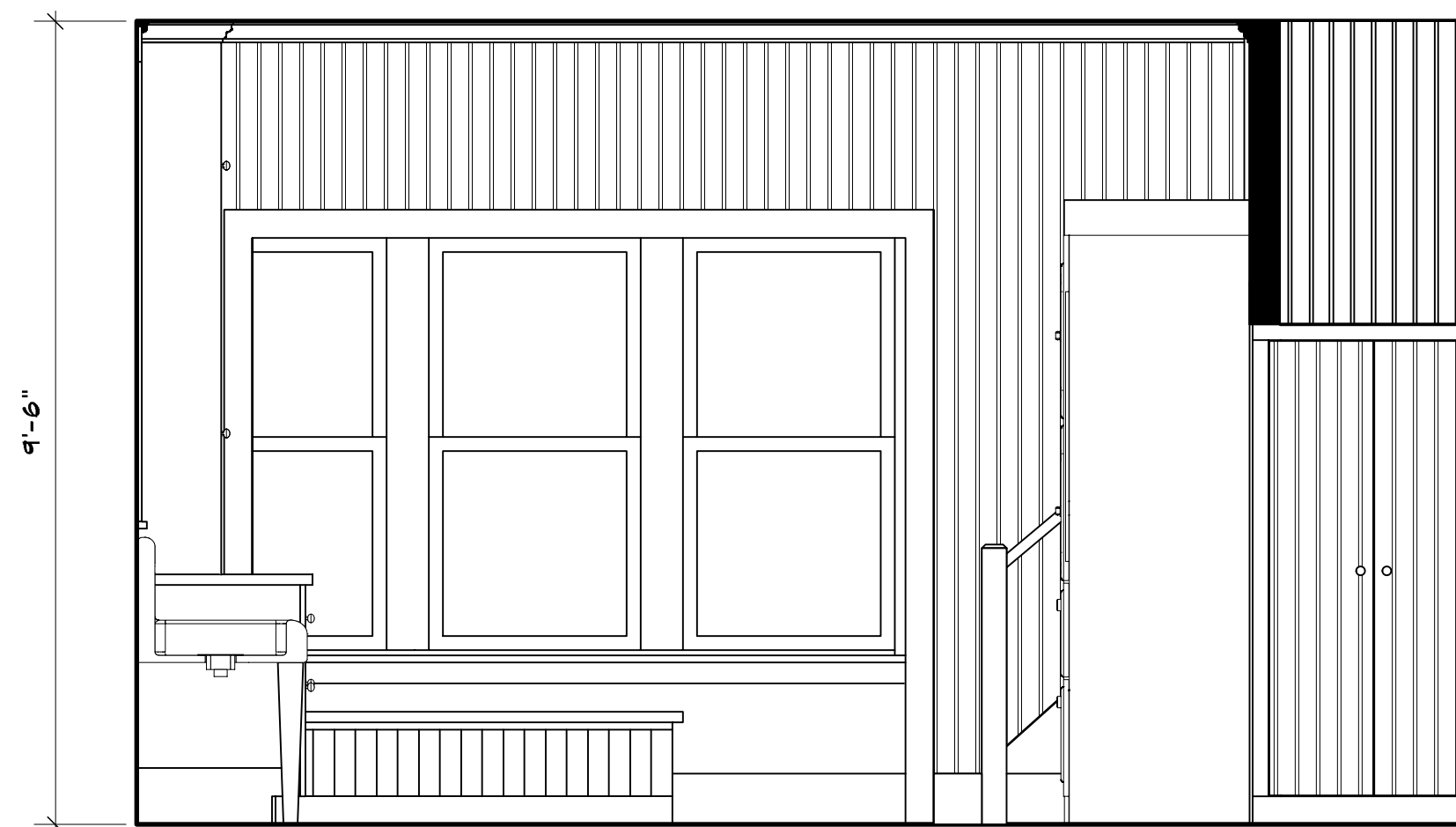
6 KITCHEN LOOKING SOUTH
Scale: 1/2" = 1'-0"



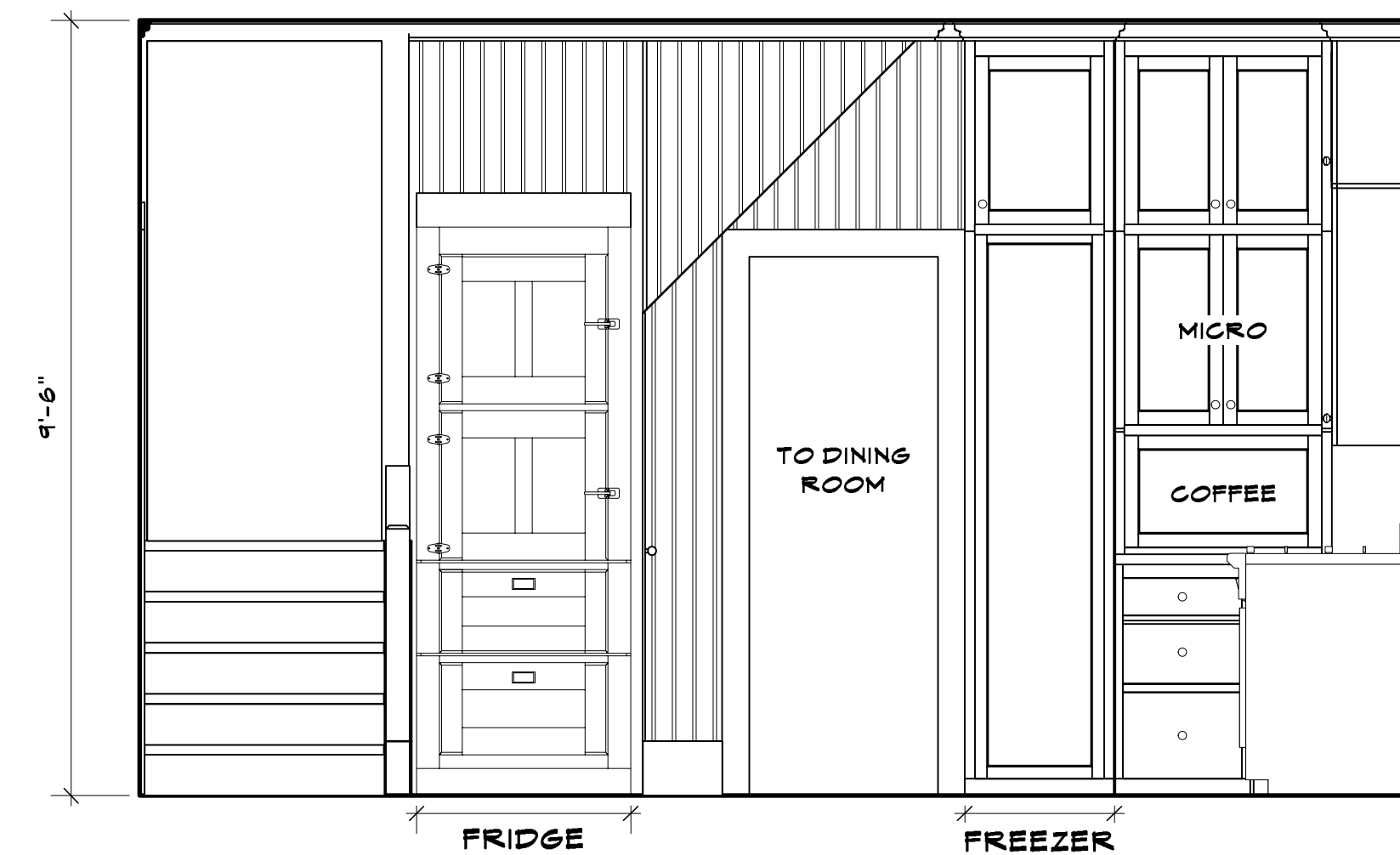
3 PANTRY LOOKING WEST
Scale: 1/2" = 1'-0"



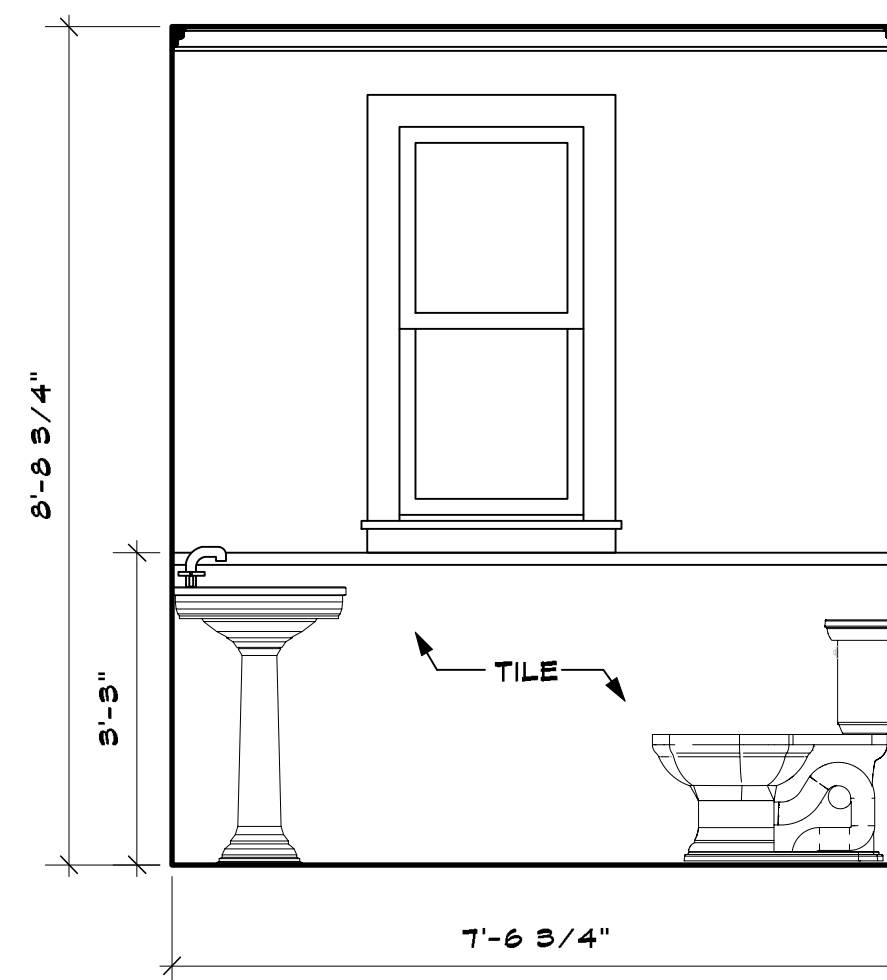
4 PANTRY LOOKING NORTH
Scale: 1/2" = 1'-0"



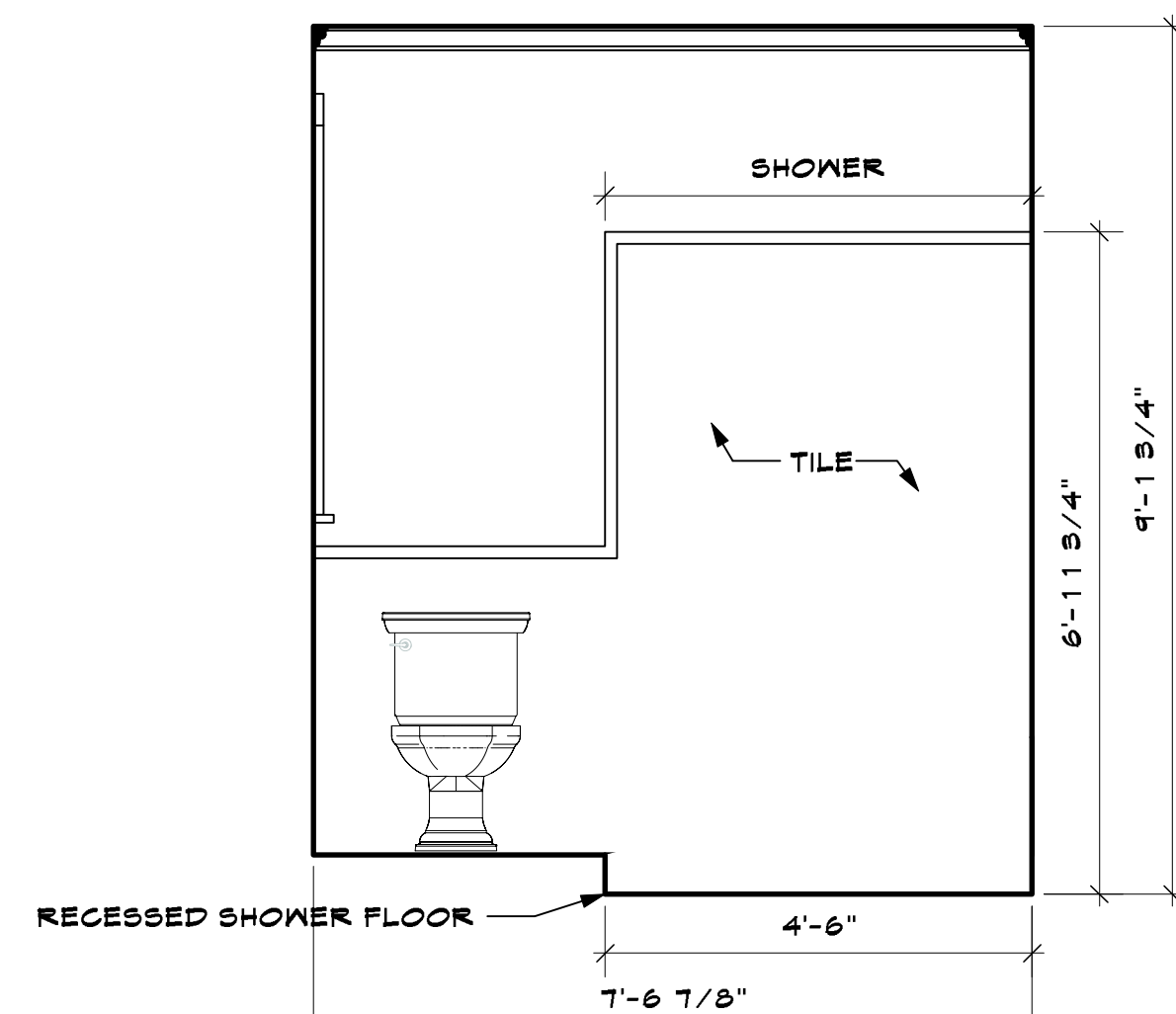
7 KITCHEN LOOKING WEST
Scale: 1/2" = 1'-0"



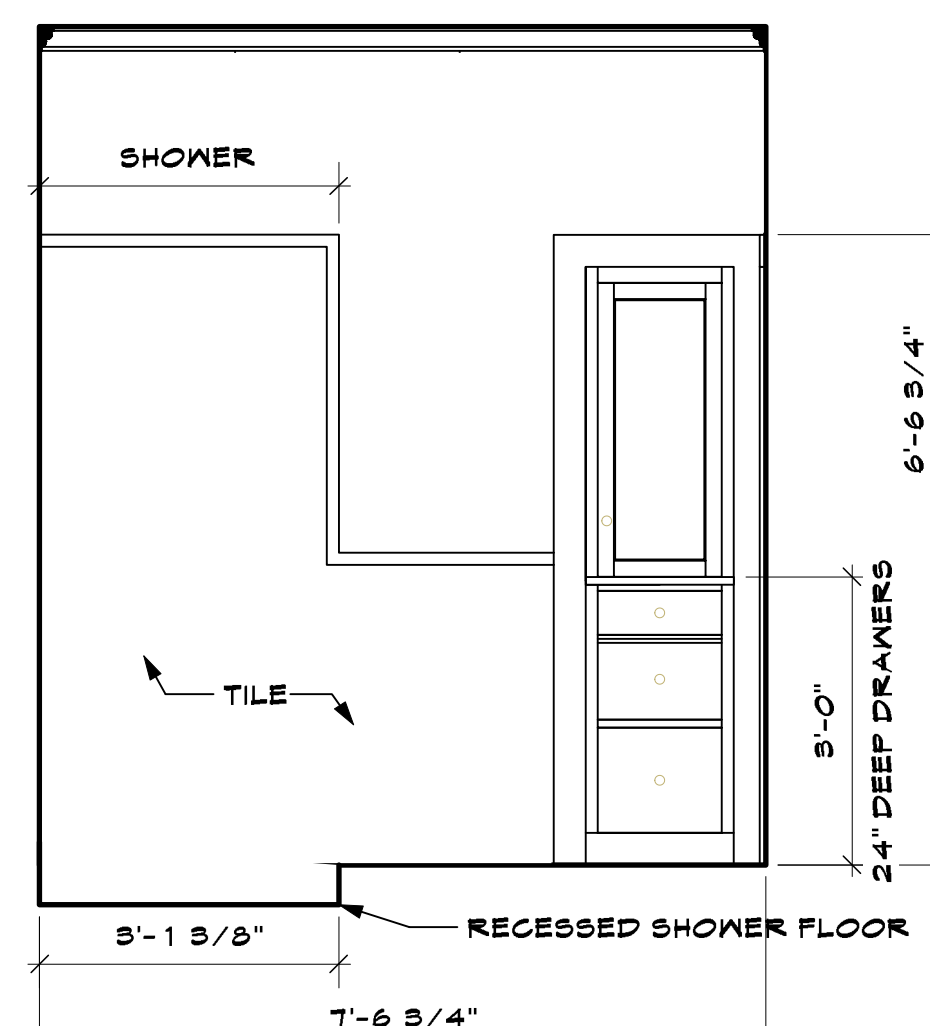
8 KITCHEN LOOKING NORTH
Scale: 1/2" = 1'-0"



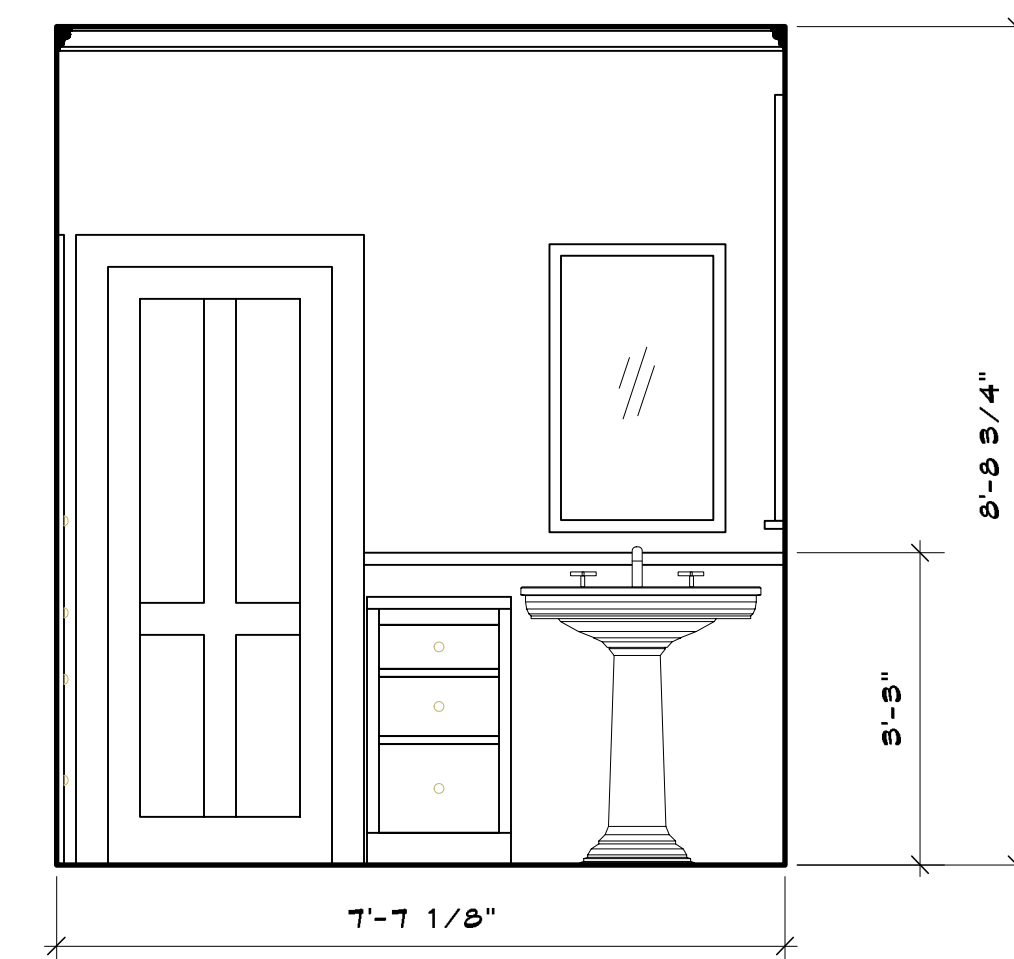
9 BATH LOOKING EAST
Scale: 1/2" = 1'-0"



10 BATH LOOKING SOUTH
Scale: 1/2" = 1'-0"



11 BATH LOOKING WEST
Scale: 1/2" = 1'-0"



12 BATH LOOKING NORTH
Scale: 1/2" = 1'-0"