



CITY OF VANCOUVER  
20.510 HERITAGE OVERLAY DISTRICT REVIEW APPLICATION

The Heritage Overlay Districts are intended to preserve the special architectural character and/or historic or cultural significance of certain areas within the City. The following additional regulations are imposed in areas so designated in order to do the following:

- A. Compatibility - To ensure that new development is compatible in scale, character, and design with existing buildings and with the preservation of existing architectural characteristics of significant buildings in the area
- B. Preservation - To preserve and encourage the restoration of existing older buildings in their original architectural style
- C. Retention of unique character - To retain, conserve, and improve historical, cultural, and architectural environments attractive to residents and to visitors, thereby promoting the economic health of the City while retaining its unique historical and architectural feature.

Property Owner:	SOBOLIK + FINEGAN PROPERTIES LLC	Telephone:	
(Print or Type Name)			
Mailing Address:	1610 NW KLUCKITAT ST. CAMAS, WA 98607		
(No., City, State, ZIP)			
Applicant:	ROCK MANLEY, MANLEY ARCHITECTS	Telephone:	360-718-2260
(Print or Type Name)			
Mailing Address:	P.O. BOX 144, VANCOUVER, WA 98666		
(No., City, State, ZIP)			
Relationship to Owner:	PROJECT ARCHITECT		
Tax Assessor Serial Number(s):	48040000		
Legal description:	Lot(s) 1 + 2	Block(s) 9	Plat name W. VANCOUVER #1
(If a Metes and Bounds description, check here) <input type="checkbox"/> , and attach narrative to this application.)			
Site Address (if any):	812 MAIN ST.		
Architect	ROCK MANLEY	Telephone:	360-718-2260
Contractor	MIKE ALLEN	Telephone:	503-320-3424

Type of Work (Check All That Apply)

☒ Alterations/Additions

☐ New Construction

☐ Demolition

☐ Relocation

Signature of Applicant:

Date:

9/13/2016

EXHIBIT

tabbles

I certify by my signature below that the information in this application is accurate and complete.



September 13, 2016

Rebecca Kennedy | Economic Development Planner  
CITY OF VANCOUVER, WASHINGTON  
Community & Economic Development  
415 West 6<sup>th</sup> Street  
Vancouver WA 98660  
Ph: (360) 487-7896:

RE: Heritage Overlay District Review, 812 Main Street Exterior Upgrade

Dear Rebecca,

Thank you for your work on this project. Please accept the following narrative description for the exterior work at 812 Main Street.

Project Narrative

The proposed project is an upgrade to the façade of the subject building. Interior work will be limited to common area upgrades and tenant improvements.

History and Existing Conditions

It is believed the building was constructed in 1895 as a theater, probably hosting vaudeville, slapstick comedy and traveling operatic productions that were popular in the era. The building underwent extensive renovation and alteration in 1950 to become a Spellman's shoe store. Spellman's was a popular national shoe store chain at that time. The most recent occupant of 812 Main was a popular consignment store known as "Spanky's". A vertical blade sign for the consignment store remains on the north east corner of the building.

It's unclear when use of the building as a theater ended. Uses of the building between its days as a theater and the shoe store remodel are not known. The shoe store renovation was designed by the late Vancouver architect Day Hilborn.

The original structure was built in the Italianate style. Recent selective demolition at the building – including demolition of portions of existing stucco integral to the 1950 façade design for Spellman's Shoe Store – exposed the remnants of arched windows on the east (Main Street) façade characteristic of the original 1895 architectural style. On the interior, brick structural walls have been exposed showing brick ledges for framing theater balconies removed long ago.

The Day Hilborn design followed a modern, streamlined aesthetic with touches of art deco influence. Under the 1950 Day Hilborn design, the original arched Italianate windows at the East facade second level were destroyed to accommodate then new steel structure. The new structure was installed to support a header over a series of 8'square fixed glass window

openings centered on the second floor façade. This structure – primarily a large steel channel – is currently visible on the exterior face of the 1895 brick.

These 8' square windows remain the dominant feature of the building's Main Street facade. The 1950 design also covered the original brick façade with stucco. The result of the Day Hilborn design was a stucco box, modern in appearance, with no exposed brick interior or exterior.

Much as installation of the 8' square windows destroyed the original Italianate arched windows, the stucco destroyed the brick surface. Prep for stucco included cutting back protruding brick detail to provide a more level surface for stucco application. Bonding of the stucco directly to the brick façade eliminated any reasonable expectation of removing the bonded stucco, restoring the brick or returning it to use as an aesthetically sound element capable of acting as a weathering surface.

### Context

Buildings immediately adjacent to 812 Main include 109 West 9th Street to the west, and 808 Main Street to the south. Each is a 2 story structure. 109 West 9th Street is painted brick with much of the original brick window detailing and cornices still visible. 808 Main Street bears some similarity to the 1950 812 Main design by Day Hilborn with painted stucco and modern detailing.

Across 9th street to the north is the 2 story 1908 Ranck Building at 104 west 9th Street (recently nominated to the local register); and 904 Main Street, a one story brick structure with stucco infill on the south façade and a panel trim system above the Main Street storefront. 904 Main Street currently houses a furniture consignment store.

### Proposed Upgrades

Proposed façade upgrades to 812 Main Street include:

- New Storefront windows, entries and transom (approved under a prior building permit)
- "Wood-look" cementitious panelized wall cladding in rainscreen application at Main Street and wrapping NE corner
- Metal canopies (+/- 18" depth) and matching metal accent band above storefront
- "Sandstone and concrete-look" cementitious panelized wall cladding in rainscreen application – primarily at 9th Street facade
- Repair and paint select existing stucco surfaces
- Upgraded entry at 9th Street
- Facsimile restoration of 8'square window trim from 1950 design
- Facsimile restoration and extension of existing aluminum trim pieces from 1950 design
- On the north façade, a metal panel application including laser cut metal panels and metal panels with historic images of the site and adjacent sites is proposed pending adequate budget
- Existing corner blade sign will be removed to accommodate the work and may be re-installed for the corner tenant

Selective demolition of the façade was begun in late spring 2016 under a separate permit. The permit included installation of new aluminum storefront and transom windows along with interior demolition and some interior structural work. The purpose of the exterior facade demolition was to determine existence of a sound substrate for attachment of the transom window system in the existing openings. The contractor found that the substrate above the window head consisted of loose, failing 4" concrete masonry (CMU) supported by an inadequate steel lintel. The CMU had served as infill to render a recessed portion of the original brick façade flush for application of stucco in the 1950 alteration. The original 1895 brick surface is exposed at the location where the CMU infill was removed.

Stucco and some existing wood panels were removed at pedestrian level at the north façade also exposing brick.

The proposed rainscreen wall cladding system will cover the removed sections of stucco both at the Main Street façade and at the 9th Street façade.

Proposed use of the building will be tenant spaces. Retail, mercantile or small coffee shop or drinking/dining establishment at the ground level, office or retail at the upper level.

#### VMC Guideline Compliance

##### Compliance with the guidelines in VMC 20.510.020.B.5

###### VMC 20.510.020.B.5, a

Proposed use of retail, mercantile (B occupancy) is compatible with past uses.

###### VMC 20.510.020.B.5, b

Design elements from the 1950 alterations are retained: 8' square windows are retained. Stucco finish is retained. Aluminum trim feature is retained.

###### VMC 20.510.020.B.5, c

Proposed canopies are minimal in depth and will not create darkened areas below. The proposed canopy provides a look similar to adjacent building to south

###### VMC 20.510.020.B.5, d

N/A

###### VMC 20.510.020.B.5, e

N/A - This building's clearest significant point in history ties to 1950s modern architecture

###### VMC 20.510.020.B.5, f

Strongest affiliation of proposed design is to 1950s modern architecture



VMC 20.510.020.B.5, g

No dark glass is proposed

VMC 20.510.020.B.5, h

Colors contribute to the distinct character of the building and are compatible with existing adjacent buildings

VMC 20.510.020.B.5, i

N/A

VMC 20.510.020.B.5, j

Strongest affiliation of proposed design is to 1950s modern architecture

VMC 20.510.020.B.5, k

Design elements of the 1950 alteration are continued. Though design elements of the original structure are lost, artwork is proposed that will provide some visual interpretation of the buildings early history.

VMC 20.510.020.B.5, l

Strongest affiliation of proposed design is to 1950s modern architecture. Significant features of the 1950 renovation are repaired and retained.

VMC 20.510.020.B.5, m

Architectural features that can reasonably be retained, repaired or restored are from the 1950 alterations. Significant features of the 1950 renovation are repaired and retained to the extent that this is feasible.

VMC 20.510.020.B.5, n

N/A – Brick surfaces that are likely intended for this guideline item were damaged extensively as a result of the 1950 alterations.

VMC 20.510.020.B.5, o

The proposed design incorporates contemporary materials and methods and is representative of currently popular aesthetics. The design also retains and incorporates significant elements of the 1950 alterations.

VMC 20.510.020.B.5, p

Construction deficiencies in the façade of the 1950 alterations and demolition of components of the original 1895 facade that occurred during the 1950 alterations make it infeasible to retain more of the essential form and integrity of either era than is proposed in the current design.

VMC 20.510.020.B.5, q

N/A

VMC 20.510.020.B.5, r

N/A

### Summary

The proposed Exterior Upgrade to 812 Main Street provides a 2016 aesthetic to a downtown building incorporating current finish materials, construction methods, and a color palette complementary to neighboring buildings. The design retains and incorporates significant features of the 1950 alterations. The design is in compliance with VMC guidelines for façade alterations in Historic Overlay District 2.

Our thanks for the opportunity for this review. Please share any thoughts or questions you may have in the intervening days between now and the October 4<sup>th</sup> HPC meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Roch Manley", with a stylized, flowing script.

Roch Manley, AIA, NCARB  
President, Manley Architects, PC

# 812 MAIN BUILDING EXTERIOR UPGRADE

RECEIVED  
SEP 13 2016  
BY: \_\_\_\_\_

MANLEY  
ARCHITECTS

EXHIBIT  
3

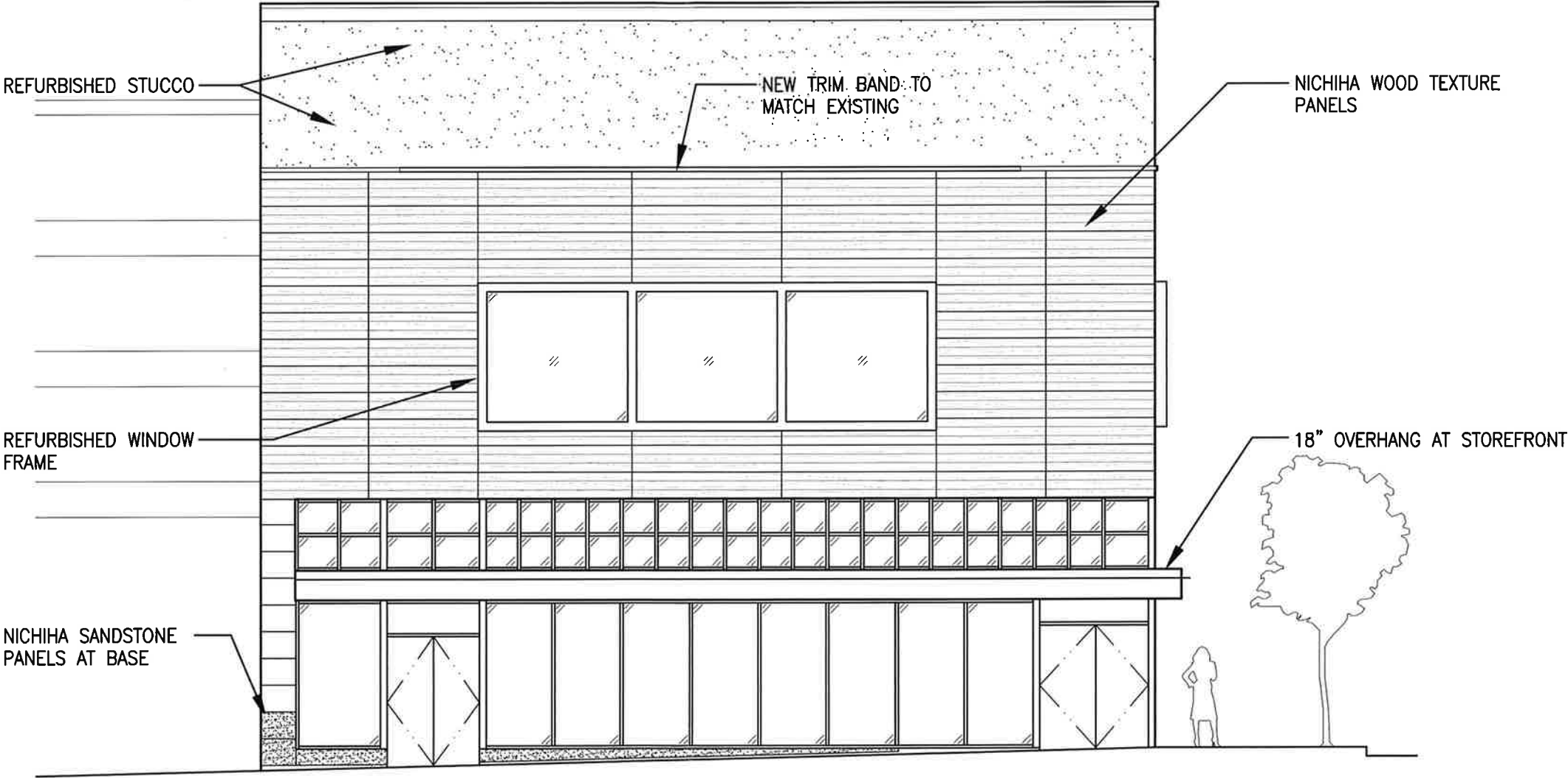


EAST ELEVATION



NORTH ELEVATION

# 812 MAIN BUILDING EXTERIOR UPGRADE



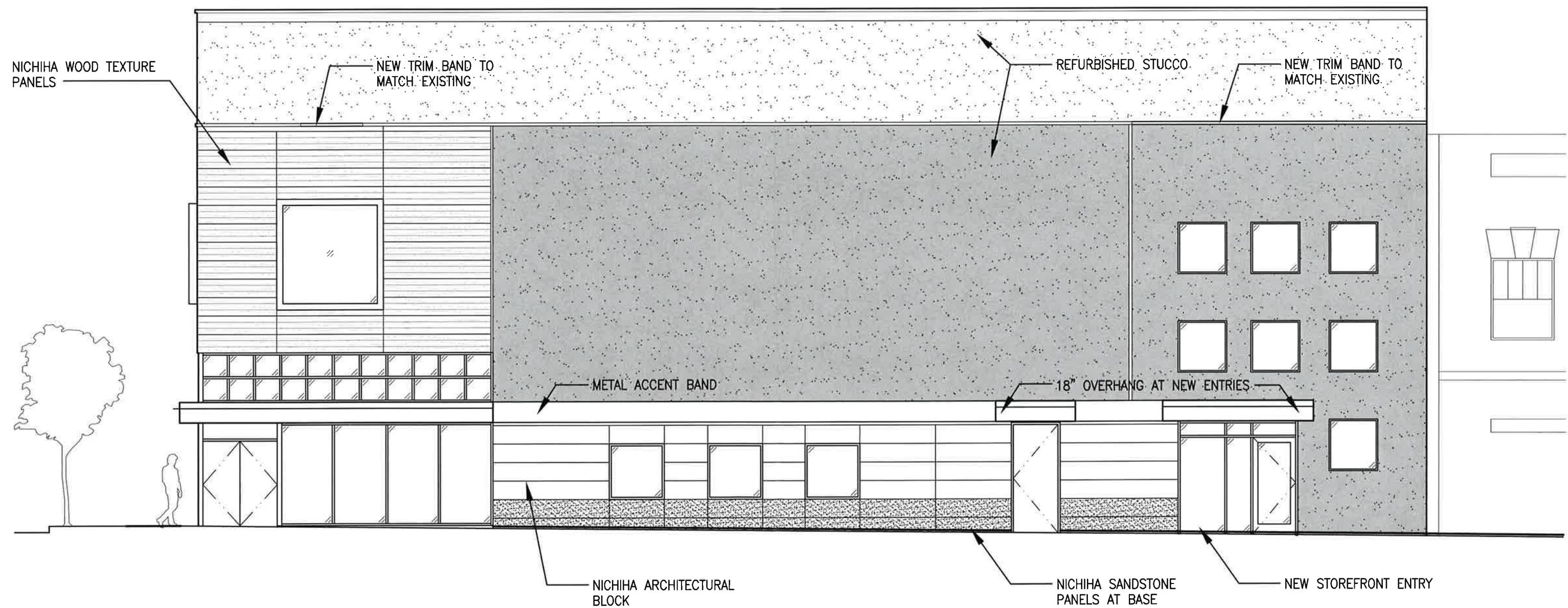
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



# 812 MAIN BUILDING EXTERIOR UPGRADE

RECEIVED  
SEP 13 2016  
BY: \_\_\_\_\_



## NORTH ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT#: 16008A

SEPTEMBER 12, 2016





EAST FACADE



TRANSOM WINDOW ALIGNMENT



DETAIL AT 8' SQUARE WINDOW SILL



NORTH FACADE



DETAIL BELOW (3) 8'SQUARE WINDOWS



DETAIL BELOW (3) 8'SQUARE WINDOWS



# 812 MAIN IMAGES DEPICTING EXISTING CONDITIONS

MANLEY ARCHITECTS

SEPT 24, 2016