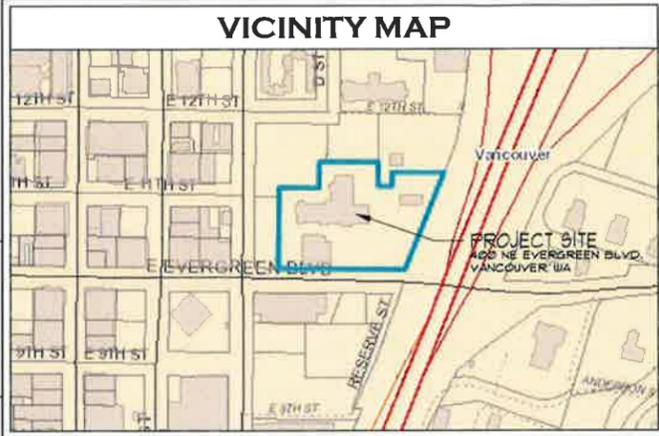


SITE INFO	
PROPERTY OWNER PROVIDENCE ACADEMY, LLC 400 E EVERGREEN BLVD. #1 VANCOUVER, WA 98660	APPLICANT WILSON ARCHITECTS ARCHITECTS AND PLANNERS ATTN: RYAN WILSON 404 E 15th ST. #1 VANCOUVER, WA 98663
CONTACT: MIKE TRUE 400 E EVERGREEN BLVD. #1 VANCOUVER, WA 98660 360-992-1816	P: (360) 696-4722 F: (360) 696-0952 jan@wilsonarchitects.com
PROPERTY ADDRESS: TAX ID #: 39220000 LEGAL: EAST VANCOUVER BLKS 40, 41, #1 BLK 42, 43 + 49 358A	400 E EVERGREEN BLVD. 39220000
ZONING: COMP PLAN: CX FAR: COM1 MAX. HEIGHT: 11 LOT AREA: 75'-0" / 200'-0" 155,945 SF / 3.58 ac	400 E EVERGREEN BLVD. 39220000 EAST VANCOUVER BLKS 40, 41, #1 BLK 42, 43 + 49 358A CX COM1 11 75'-0" / 200'-0" 155,945 SF / 3.58 ac

CONTENTS	
ARCHITECTURAL	A0
CODE SUMMARY/SITE PLAN	A0J
ROOF DEMOLITION PLAN	A10
NEW ROOF PLAN	A11
SOUTHEAST DECK/BALCONY PLANS	A12
NORTH DECK/BALCONY PLANS	A20
SOUTHEAST BALCONY - EXTERIOR ELEVATIONS	A21
SOUTHEAST BALCONY - EXTERIOR ELEVATIONS (COLOR)	A22
SOUTH BALCONY - EXTERIOR ELEVATIONS	D1
DETAILS	D2
DETAILS	D3
COLOR BOARD / SAMPLE MATERIALS	CB



PROJECT DESCRIPTION

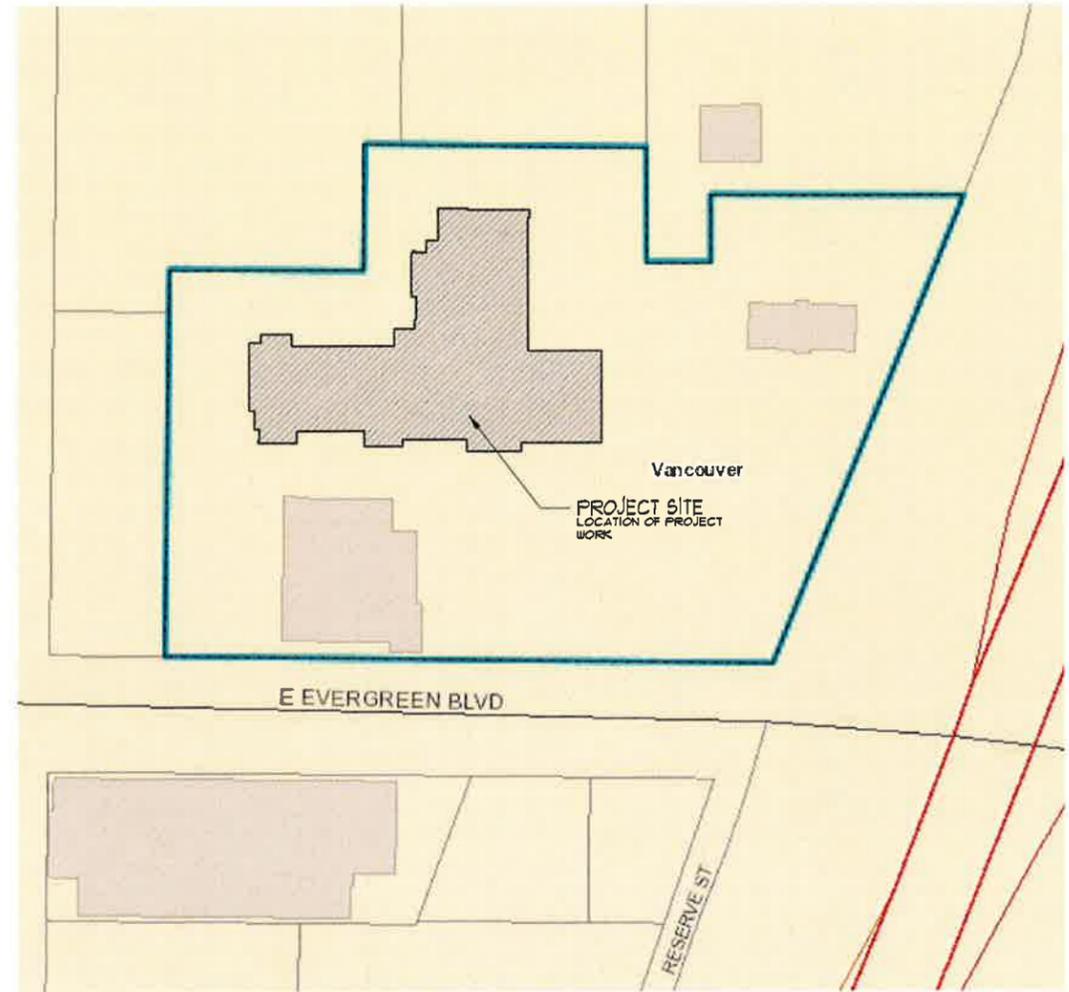
THE PROJECT IS FOR THE HISTORICAL REPAIR, RESTORATION AND RE-ROOFING OF THE EXISTING MAIN BUILDING ROOF WITH A STANDING BEAM METAL ROOF SYSTEM, THE REPAIR OF THE EXISTING SOUTHERLY AND SOUTHEASTERLY PORCH/BALCONIES, EXISTING COLUMNS AND RAILINGS, THE REPAIR AND RESTORATION OF EXISTING WOOD OR METAL EAVES AND CORNICES.

GOVERNING CODES

LAND USE:	VANCOUVER MUNICIPAL CODE
BUILDING:	2015 IBC
ELECTRICAL:	2014 NATIONAL ELECTRICAL CODE
MECHANICAL:	2015 IMC
PLUMBING:	2015 UPC
FIRE:	2015 IFC

CONSTRUCTION TYPE

MAIN BUILDING:	TYPE III-B
ROOFING CLASS:	C
OCCUPANCY TYPE:	B, A2 AND A3
BUILDING HEIGHT:	51'-0"
EXISTING BELL TOWER:	95'-0"
ALLOWABLE FLOORS:	4
EXISTING FLOORS:	4
FIRE SFRINKLERS:	YES



SITE PLAN
SCALE: NO SCALE

EXHIBIT
3

SITE PLAN / PROJECT DATA
NO SCALE



**WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA**
404 E 15th ST #7
VANCOUVER WA
98663
(360) 696-4722



PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION/REPAIR
400 EAST EVERGREEN BLVD
VANCOUVER, WA 98660

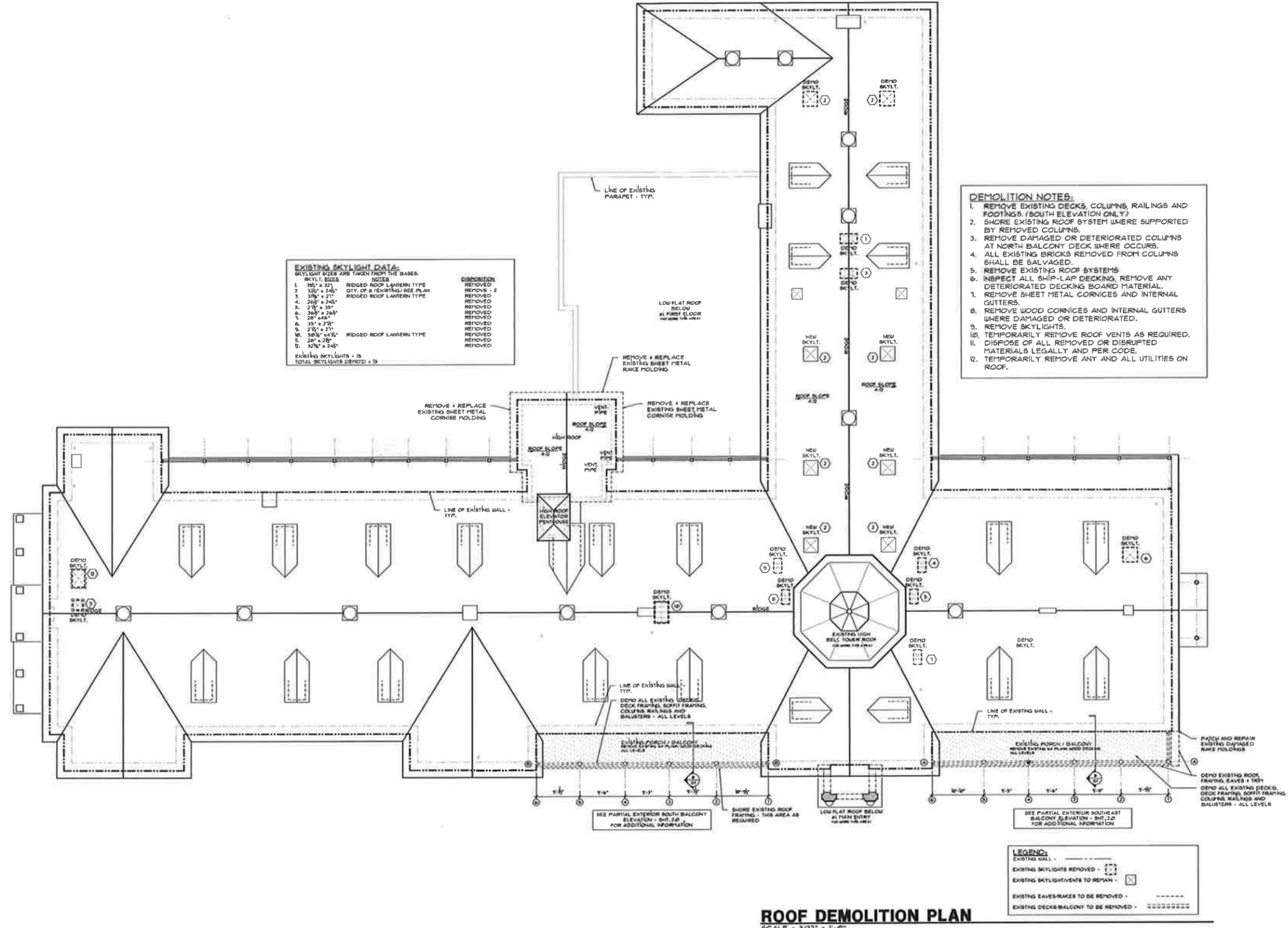
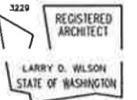
DATE	SCALE
9/10/2016	SEE PLAN
JOB NO. 2616	DRAWN BY ink
REVISIONS:	
1	SUBMITTAL TO DAUP / COY HERITAGE OVERLAY DISTRICT
2	
3	
4	
5	
6	
7	
8	
9	
10	

A0
**SITE PLAN
PROJECT
DATA**





WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA
404 E 15th ST #7
VANCOUVER WA
98663
(360) 696-4722



EXISTING SKYLIGHT DATA
SKYLIGHT SIZES ARE TAKEN FROM THE BASES.

SKYLIT #	SIZE	TYPE	REMOVAL
1	18" x 21"	RIDGED ROOF LANTERN TYPE	REMOVED
2	33" x 24"	QTY. OF 8 (EXISTING) ARE PLAN	REMOVED - 2
3	33" x 21"	RIDGED ROOF LANTERN TYPE	REMOVED
4	26" x 24"		REMOVED
5	21" x 36"		REMOVED
6	26" x 24"		REMOVED
7	26" x 48"		REMOVED
8	25" x 25"		REMOVED
9	21" x 21"	RIDGED ROOF LANTERN TYPE	REMOVED
10	26" x 48"		REMOVED
11	26" x 28"		REMOVED
12	33" x 24"		REMOVED

existing skylights = 12
TOTAL SKYLIGHTS DEMO'D = 12

- DEMOLITION NOTES:**
1. REMOVE EXISTING DECKS, COLUMNS, RAILINGS AND FOOTINGS. (SOUTH ELEVATION ONLY)
 2. SHORE EXISTING ROOF SYSTEM WHERE SUPPORTED BY REMOVED COLUMNS.
 3. REMOVE DAMAGED OR DETERIORATED COLUMNS AT NORTH BALCONY DECK WHERE OCCURS.
 4. ALL EXISTING BRICKS REMOVED FROM COLUMNS SHALL BE SALVAGED.
 5. REMOVE EXISTING ROOF SYSTEMS.
 6. INSPECT ALL SHIP-LAP DECKING, REMOVE ANY DETERIORATED DECKING BOARD MATERIAL.
 7. REMOVE SHEET METAL CORNICES AND INTERNAL GUTTERS.
 8. REMOVE WOOD CORNICES AND INTERNAL GUTTERS WHERE DAMAGED OR DETERIORATED.
 9. REMOVE SKYLIGHTS.
 10. TEMPORARILY REMOVE ROOF VENTS AS REQUIRED.
 11. DISPOSE OF ALL REMOVED OR DISRUPTED MATERIALS LEGALLY AND PER CODE.
 12. TEMPORARILY REMOVE ANY AND ALL UTILITIES ON ROOF.

PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION/REPAIR
400 EAST EVERGREEN BLVD
VANCOUVER, WA 98660

DATE	SCALE
3/12/2016	SEE PLAN
JOB NO. 7616	DRAWN BY jek
REVISIONS:	
▲	SUBMITTAL TO DASH (COY. HERITAGE COVER AT DASH)
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	

ROOF DEMOLITION PLAN

SCALE = 3/32" = 1'-0"

LEGEND:

EXISTING WALL -	---
EXISTING SKYLIGHTS REMOVED -	⊗
EXISTING SKYLIGHTS TO REMAIN -	⊠
EXISTING EAVES/RAKES TO BE REMOVED -	-----
EXISTING DECK/BALCONY TO BE REMOVED -	⊘

A0.1

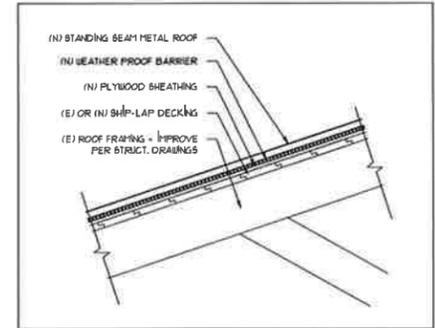
DEMO PLAN





**WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA**
404 E 15th ST #7
VANCOUVER WA
98663
(360) 696-4722

3228 REGISTERED ARCHITECT
LARRY D. WILSON
STATE OF WASHINGTON

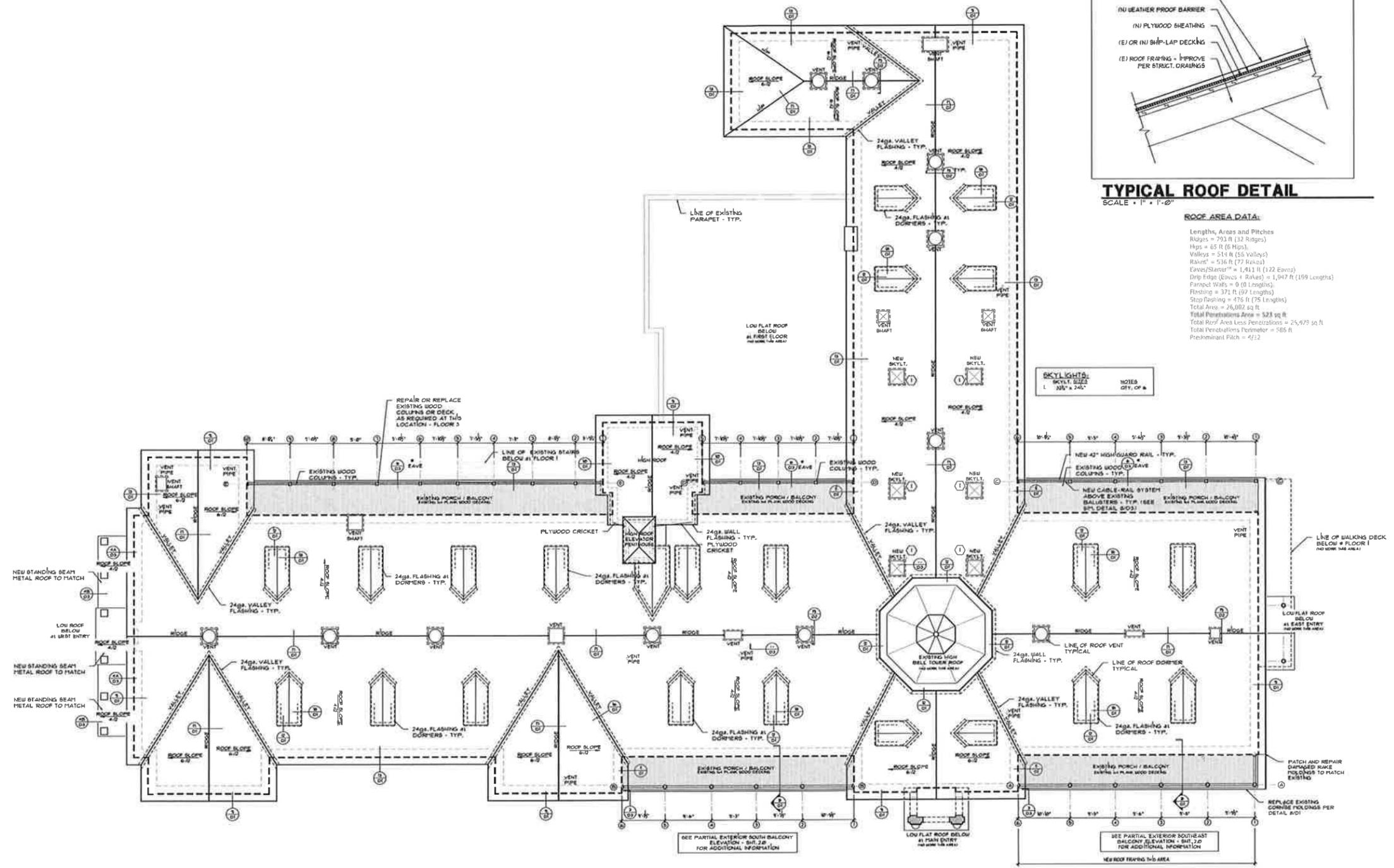


TYPICAL ROOF DETAIL

SCALE = 1" = 1'-0"

ROOF AREA DATA:

Lengths, Areas and Pitches
Ridges = 793 ft (32 Ridges)
Hips = 43 ft (6 Hips)
Valleys = 514 ft (55 Valleys)
Rafters = 536 ft (77 Rafters)
Eaves/Starter = 1,411 ft (122 Eaves)
Drip Edge (Eaves + Rafters) = 1,947 ft (199 Lengths)
Parapet Walls = 0 (0 Lengths)
Flashing = 371 ft (97 Lengths)
Stop Flashing = 476 ft (75 Lengths)
Total Area = 26,882 sq ft
Total Penetrations Area = 528 sq ft
Total Roof Area Less Penetrations = 26,354 sq ft
Total Penetrations Perimeter = 585 ft
Preinstaller Pitch = 4/12



NEW ROOF PLAN

SCALE = 3/32" = 1'-0"

NOTE:

1. SEE DETAIL 16/VD1 FOR METAL FLASHING INFORMATION.
2. ALL FLASHING MATERIALS TO BE 24ga. METAL.
3. SEE DEMO PLAN (SHEET A03) FOR LOCATION OF SKYLIGHTS TO BE REMOVED, FILLED IN AND PATCHED.
4. FIELD VERIFY ALL EXISTING SKYLIGHT REPLACED FOR SIZES AND TYPES PRIOR TO ORDERING AND INSTALLATION.
5. FIELD VERIFY ALL EXISTING ROOF VENTS TYPES AND SIZES PRIOR TO ORDERING AND INSTALLATION.

PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION/REPAIR
400 EAST EVERGREEN BLVD
VANCOUVER, WA 98660

DATE	SCALE
3/10/2016	SEE PLAN
JOB NO.	DRAWN BY
2616	JK
REVISIONS:	
1	SUBMITTAL TO DAWP / COV HERITAGE OVERLAY DISTRICT
2	
3	
4	
5	
6	
7	
8	
9	
10	

A1.0
EXISTING ROOF PLAN

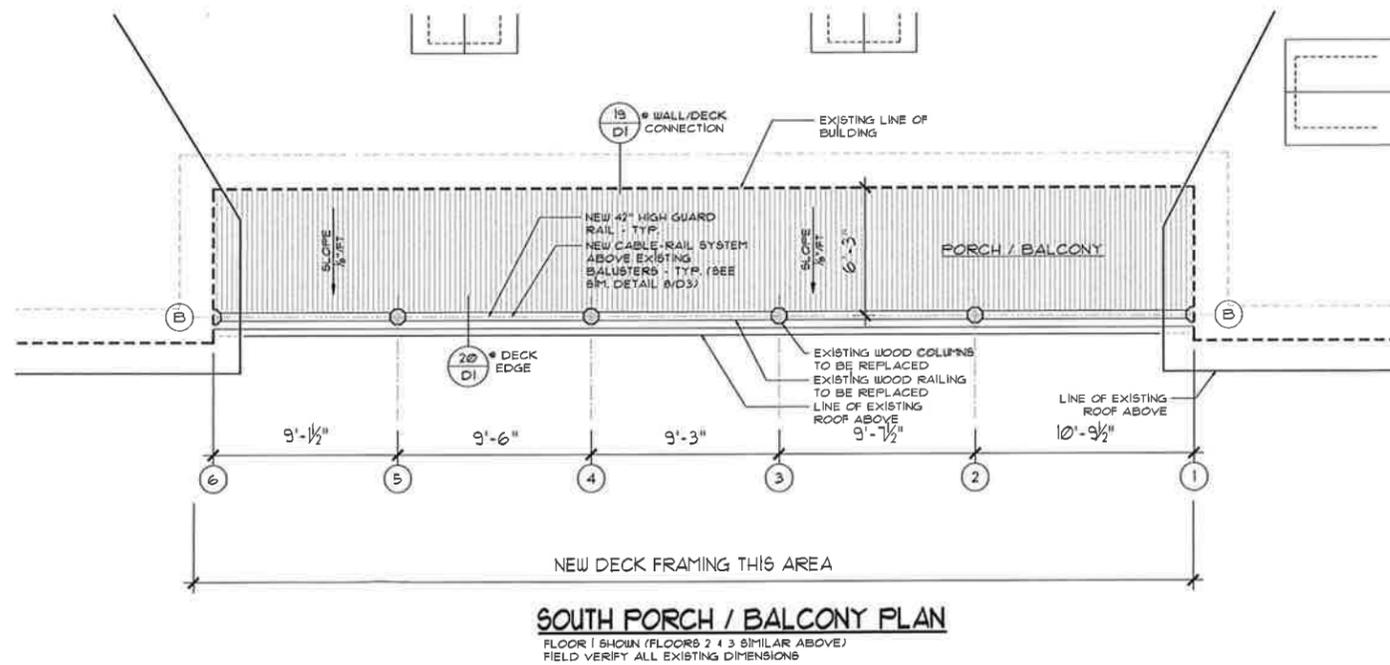
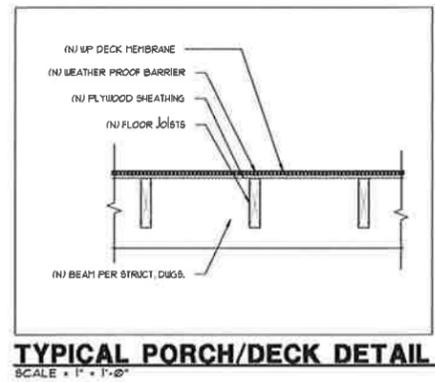
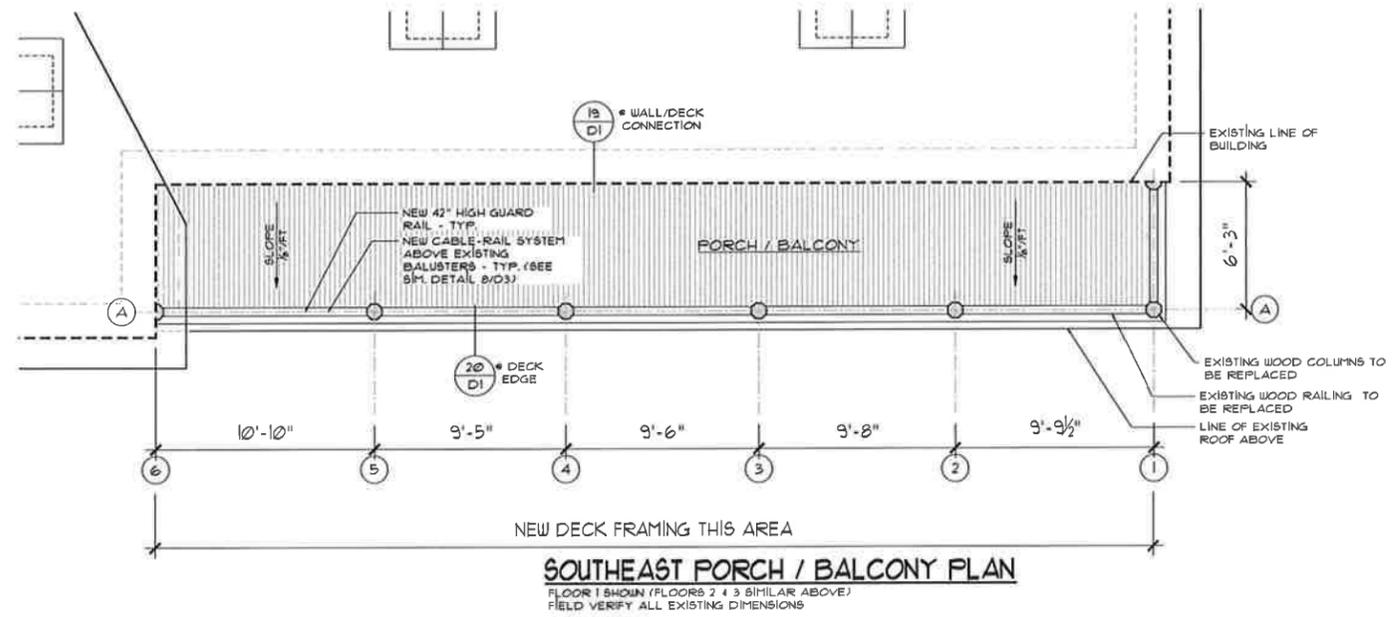




WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA
404 E 15th ST #7
VANCOUVER WA
98663
(360) 696-4722



PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION/REPAIR
400 EAST EVERGREEN BLVD
VANCOUVER, WA 98660



NEW SOUTH PORCH / BALCONY DECK PLANS
SCALE = 1/4" = 1'-0"

DATE	SCALE
5/12/2016	SEE PLAN
JOB NO. 2616	DRAWN BY /mk
REVISIONS:	
1	SUBMITTAL TO DMP / COO. HERITAGE OVERLAY DISTANCE
2	
3	
4	
5	
6	
7	
8	
9	
10	

A1.1
PORCH/
BALCONY
PLAN

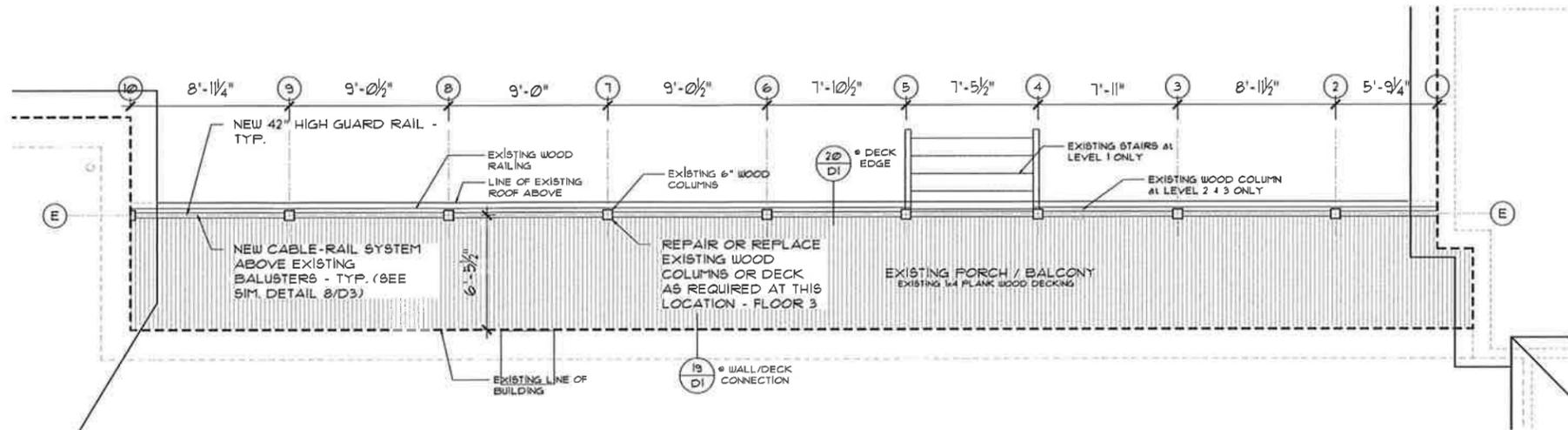




WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA
404 E 15th ST #7
VANCOUVER WA
98663
(360) 696-4722

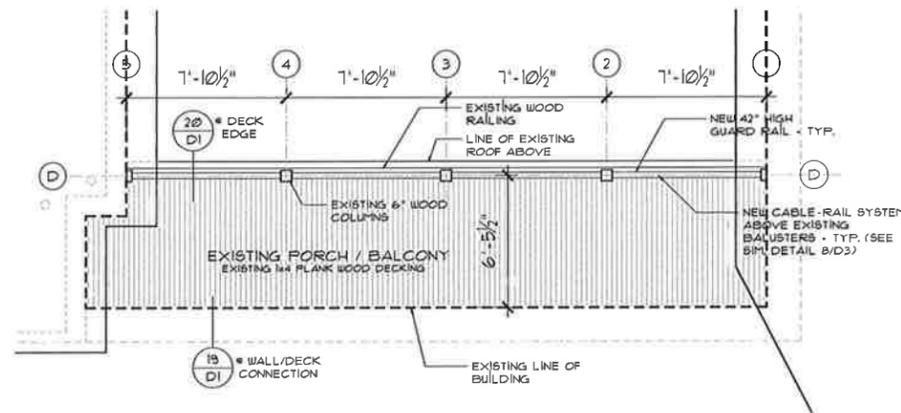
5229 REGISTERED ARCHITECT
LARRY D. WILSON
STATE OF WASHINGTON

PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION/REPAIR
400 EAST EVERGREEN BLVD
VANCOUVER, WA 98660



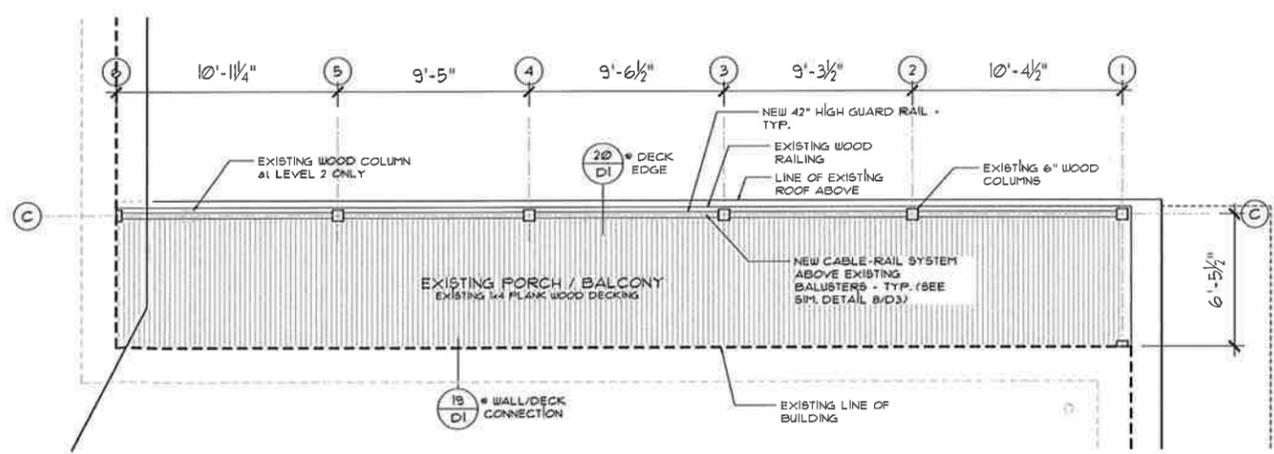
NORTHWEST PORCH / BALCONY PLAN

FLOOR 1 SHOWN (FLOORS 2 + 3 SIMILAR ABOVE)
FIELD VERIFY ALL EXISTING DIMENSIONS



NORTH PORCH / BALCONY PLAN

FLOOR 1 SHOWN (FLOORS 2 + 3 SIMILAR ABOVE)
FIELD VERIFY ALL EXISTING DIMENSIONS



NORTHEAST PORCH / BALCONY PLAN

FLOOR 1 SHOWN (FLOORS 2 + 3 SIMILAR ABOVE)
FIELD VERIFY ALL EXISTING DIMENSIONS

EXISTING NORTH PORCH / BALCONY DECK PLANS
SCALE = 1/4" = 1'-0"

DATE	SCALE
9/12/2016	SEE PLAN
JOB NO. 2616	DRAWN BY jmk
REVISIONS:	
1	SUBMITTAL TO DAWP / COV. HERITAGE OVERLAY DISTRICT
2	
3	
4	
5	
6	
7	
8	
9	
10	

A1.2
**PORCH/
BALCONY
PLAN**





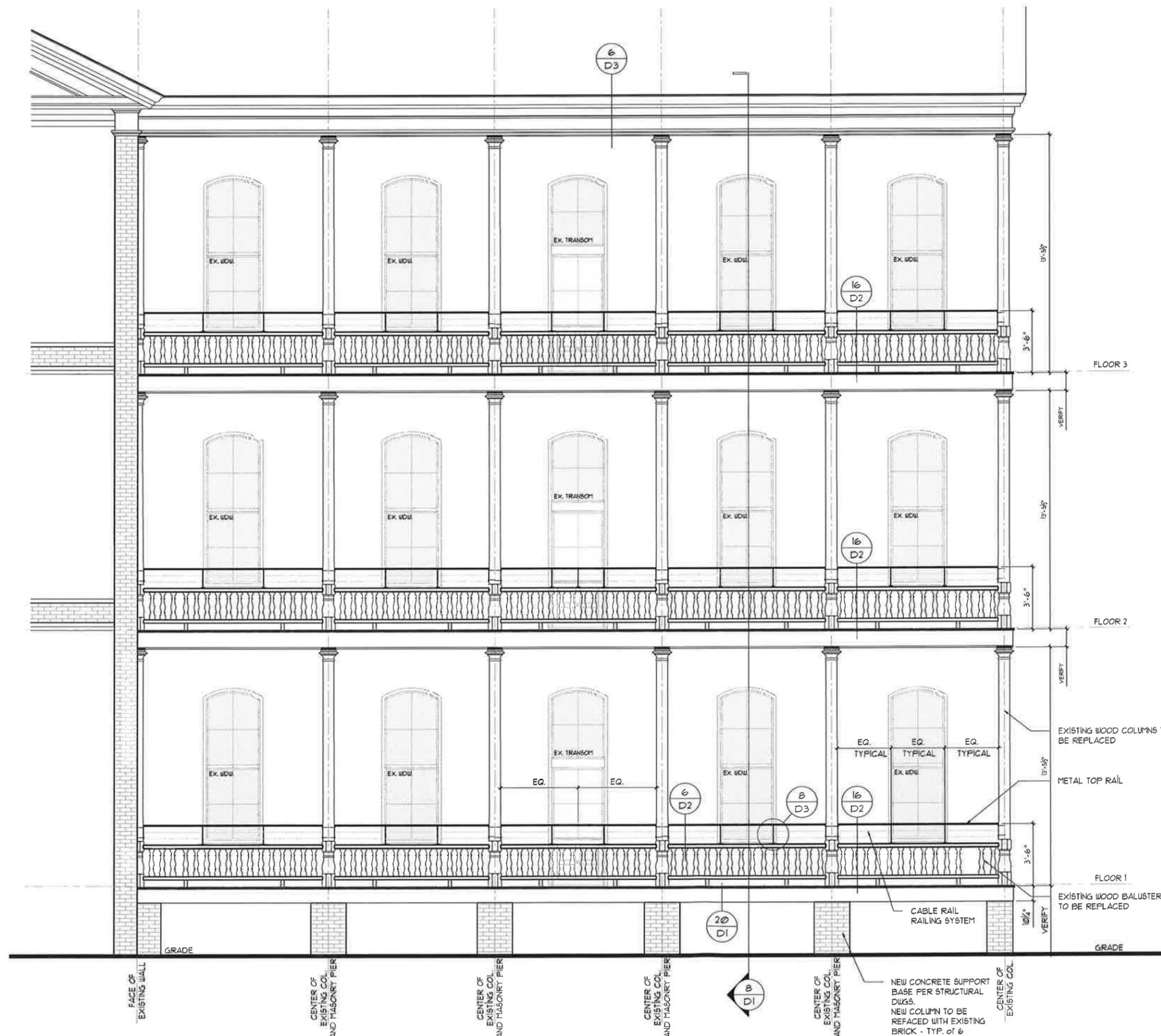
WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA
404 E 15th ST #7
VANCOUVER WA
98663
(360) 696-4722



PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION / REPAIR
400 EAST EVERGREEN BLVD
VANCOUVER, WA 98660

DATE	SCALE
3/12/2016	SEE PLAN
JOB NO. 2616	DRAWN BY imk
REVISIONS:	
1	REVISIONAL TO DAMP / COV HERITAGE OVERLAY DISTRICT
2	
3	
4	
5	
6	
7	
8	
9	
10	

A2.0
PARTIAL EXTERIOR ELEVATIONS



- NOTE:
1. ALL EXISTING BRICKWORK AT EXISTING BRICK PIER COLUMNS SHALL BE REMOVED, STACKED AND RE-USED TO RE-FACE ALL NEW SUPPORTING CONCRETE PIERS TO MATCH PRE-CONSTRUCTION APPEARANCE.
 2. ALL VERTICAL STEEL SUPPORT POSTS FOR CABLE-RAIL SYSTEM SHALL BE 5'-0" MAX. ON CENTER - SEE ELEVATION FOR TYPICAL SPACINGS.

EXTERIOR ELEVATION - SOUTH EAST BALCONY RESTORATION
SCALE - 3/8" = 1'-0"



EXTERIOR ELEVATION - SOUTH EAST BALCONY RESTORATION

SCALE - 3/8" = 1'-0"

- NOTE:
1. ALL EXISTING BRICKWORK AT EXISTING BRICK PIER COLUMNS SHALL BE REMOVED, STACKED AND RE-USED TO RE-FACE ALL NEW SUPPORTING CONCRETE PIERS TO MATCH PRE-CONSTRUCTION APPEARANCE.
 2. ALL VERTICAL STEEL SUPPORT POSTS FOR CABLE-RAIL SYSTEM SHALL BE 5'-0" MAX. ON CENTER - SEE ELEVATION FOR TYPICAL SPACING.



WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA
404 E 15th ST #7
VANCOUVER WA
98663
(360) 696-4722



PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION/REPAIR
400 EAST EVERGREEN BLVD
VANCOUVER, WA 98660

DATE	SCALE
9/12/2016	SEE PLAN
JOB NO. 2616	DRAWN BY jmk
REVISIONS:	
1	SUBMITTAL TO DARR / COY HERITAGE OVERLAY PLATE
2	
3	
4	
5	
6	
7	
8	
9	
10	

A2.1

PARTIAL
EXTERIOR
ELEVATIONS

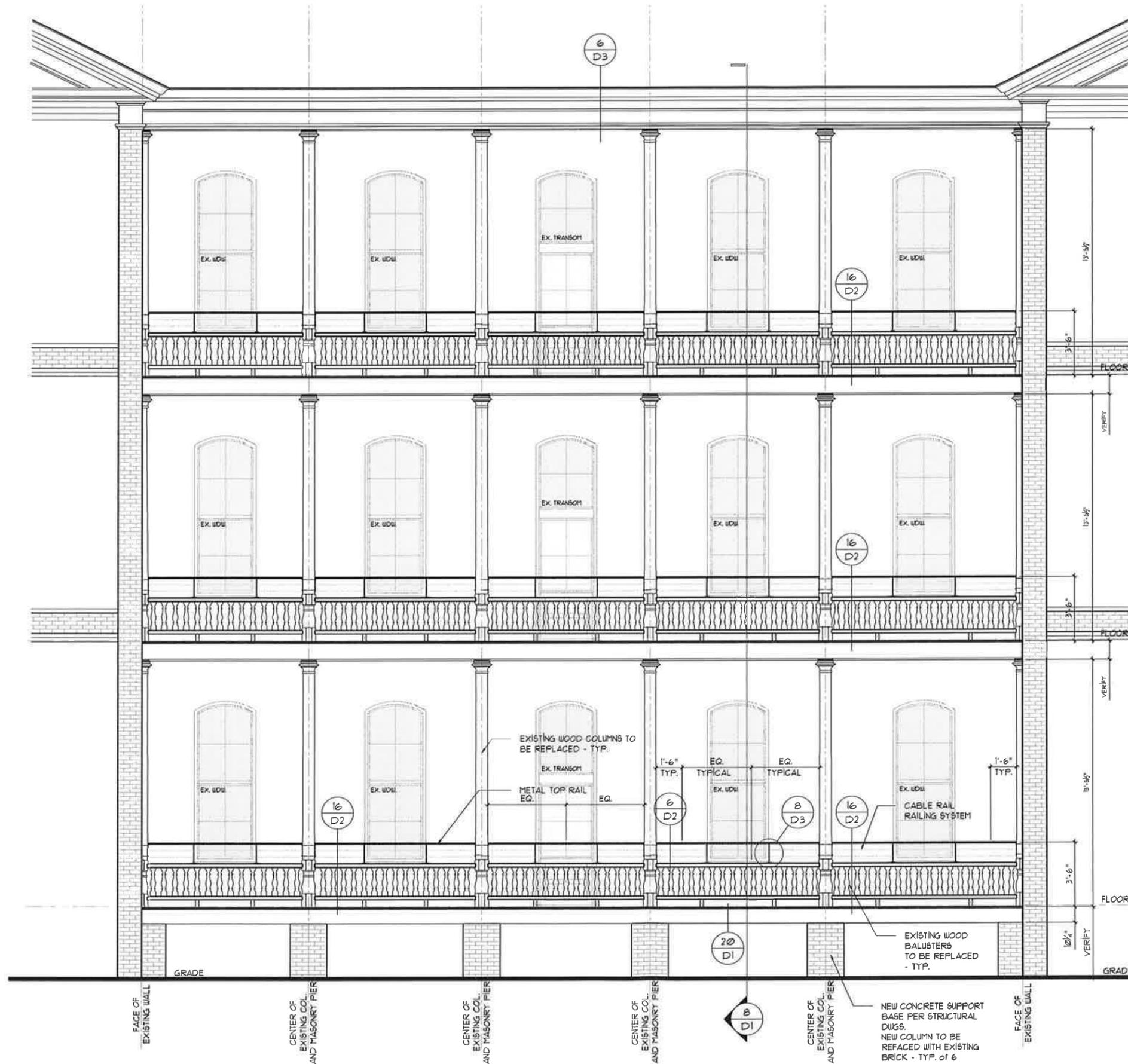




WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA
404 E 15th ST #7
VANCOUVER WA
98663
(360) 696-4722



PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION/REPAIR
400 EAST EVERGREEN BLVD
VANCOUVER, WA 98660



DATE	SCALE
3/12/21e	SEE PLAN
JOB NO. 2616	DRAWN BY /mk
REVISIONS:	
1	SUBMITTAL TO DUMP / COY. HERITAGE OVERLAY PLANNING
2	
3	
4	
5	
6	
7	
8	
9	
10	

A2.2

PARTIAL EXTERIOR ELEVATIONS



- NOTE:
- ALL EXISTING BRICKWORK AT EXISTING BRICK PIER COLUMNS SHALL BE REMOVED, STACKED AND RE-USED TO RE-FACE ALL NEW SUPPORTING CONCRETE PIERS TO MATCH PRE-CONSTRUCTION APPEARANCE.
 - ALL VERTICAL STEEL SUPPORT POSTS FOR CABLE-RAIL SYSTEM SHALL BE 5'-0" MAX. ON CENTER. - SEE ELEVATION FOR TYPICAL SPACING.

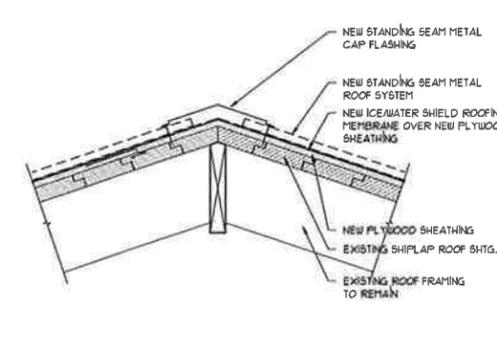
EXTERIOR ELEVATION - SOUTH BALCONY RESTORATION
SCALE - 3/8" = 1'-0"



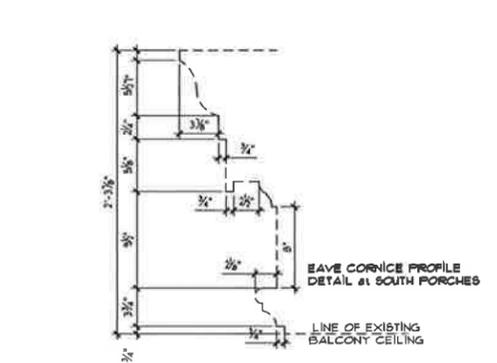
WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA
 404 E 15th ST #7
 VANCOUVER WA
 98663
 (360) 696-4722



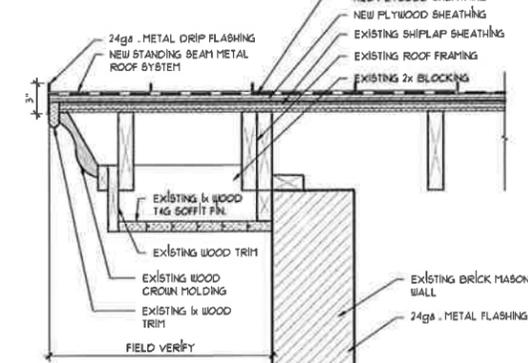
PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION/REPAIR
 400 EAST EVERGREEN BLVD
 VANCOUVER, WA 98660



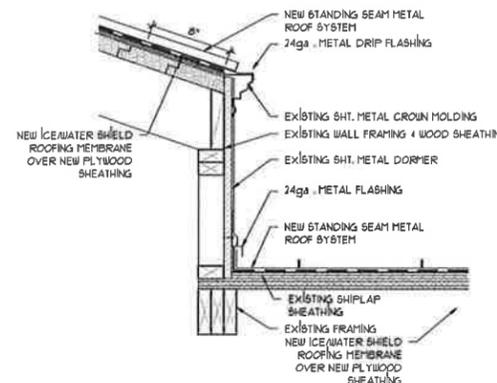
17 TYPICAL RIDGE/HIP DETAIL
 SCALE - 1/2" = 1'-0"



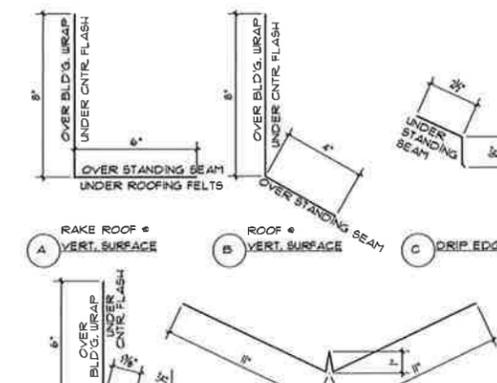
13 EXISTING CORNISE PROFILE
 SCALE - 1/2" = 1'-0"



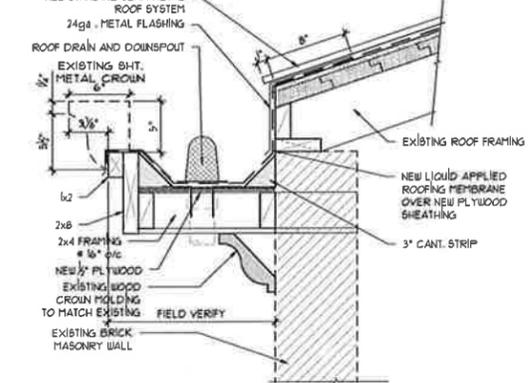
9 RAKE DETAIL
 SCALE - 1/2" = 1'-0"



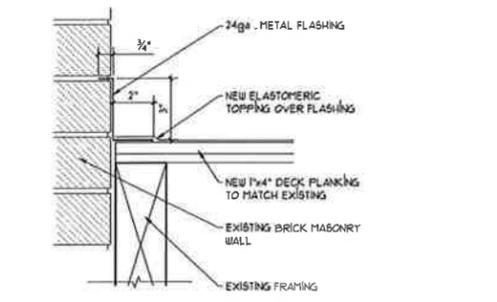
18 EAVE DETAIL @ EXISTING DORMER
 SCALE - 1/2" = 1'-0"



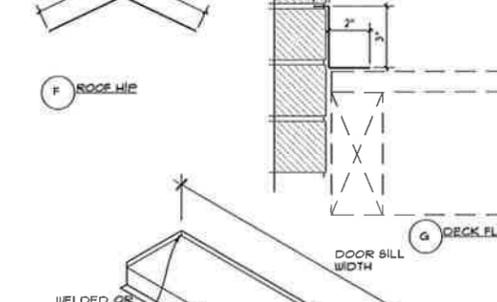
10 EAVE DETAIL
 SCALE - 1/2" = 1'-0"



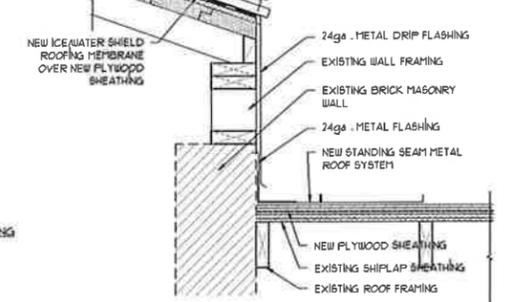
11 EAVE DETAIL
 SCALE - 1/2" = 1'-0"



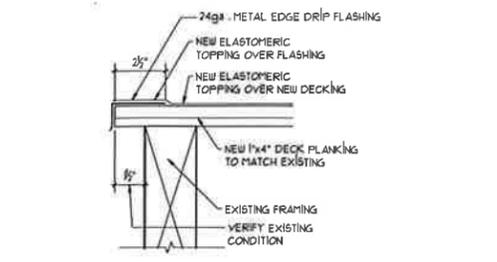
19 WALL FLASHING @ DECK
 SCALE - 3/4" = 1'-0"



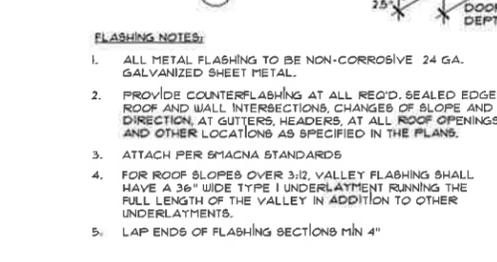
11 EAVE DETAIL
 SCALE - 1/2" = 1'-0"



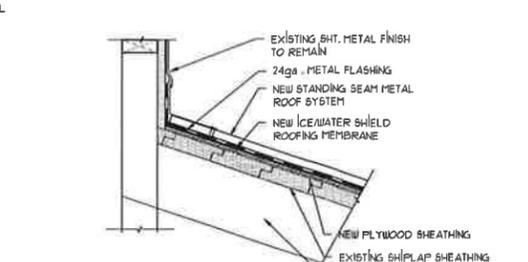
11 EAVE DETAIL
 SCALE - 1/2" = 1'-0"



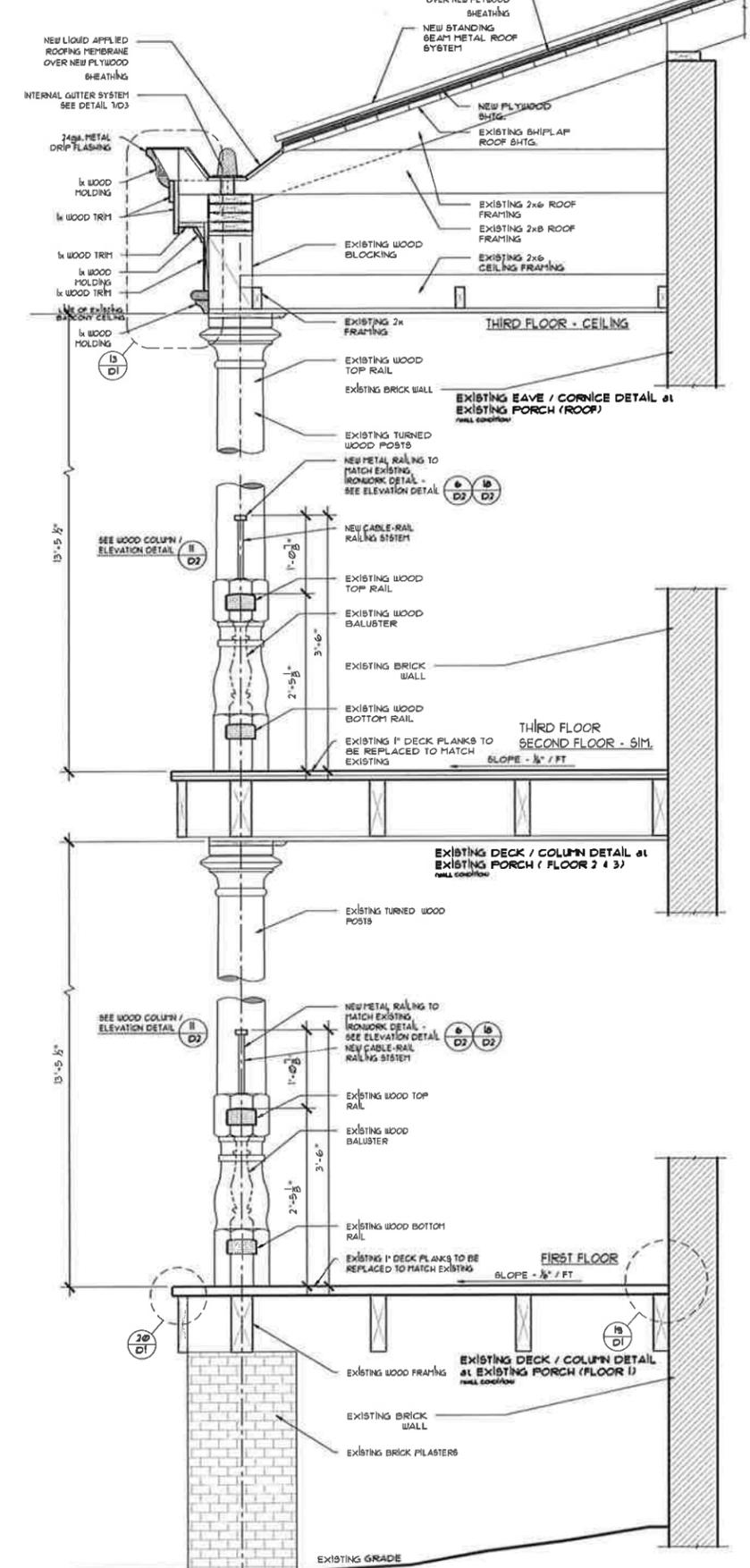
20 DRIP FLASHING @ DECK EDGE
 SCALE - 3/4" = 1'-0"



16 METAL FLASHING DETAIL
 SCALE - 3/4" = 1'-0"



12 ROOF / WALL DETAIL
 SCALE - 1/2" = 1'-0"



8 PORCH WALL / SECTION DETAIL
 SCALE - 1" = 1'-0"

- FLASHING NOTES:**
- ALL METAL FLASHING TO BE NON-CORROSIVE 24 GA. GALVANIZED SHEET METAL.
 - PROVIDE COUNTERFLASHING AT ALL REQ'D SEALED EDGES, ROOF AND WALL INTERSECTIONS, CHANGES OF SLOPE AND DIRECTION, AT GUTTERS, HEADERS, AT ALL ROOF OPENINGS AND OTHER LOCATIONS AS SPECIFIED IN THE PLANS.
 - ATTACH PER SMACNA STANDARDS
 - FOR ROOF SLOPES OVER 3:12, VALLEY FLASHING SHALL HAVE A 36" WIDE TYPE I UNDERLAMENT RUNNING THE FULL LENGTH OF THE VALLEY IN ADDITION TO OTHER UNDERLAYMENTS.
 - LAP ENDS OF FLASHING SECTIONS MIN 4"

DATE	SCALE
3/12/2016	
JOB NO. 2616	DRAWN BY ink
REVISIONS:	
1	SUBMITTAL TO DMP / COV HERITAGE OVERLAY DISTRICT
2	
3	
4	
5	
6	
7	
8	
9	
10	

D1
DETAILS





WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA
 404 E 15th ST #7
 VANCOUVER WA
 98663
 (360) 696-4722

5229 REGISTERED ARCHITECT
 LARRY D. WILSON
 STATE OF WASHINGTON

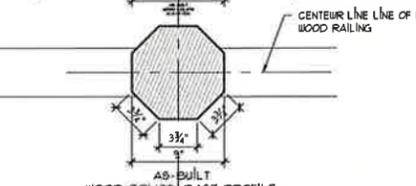
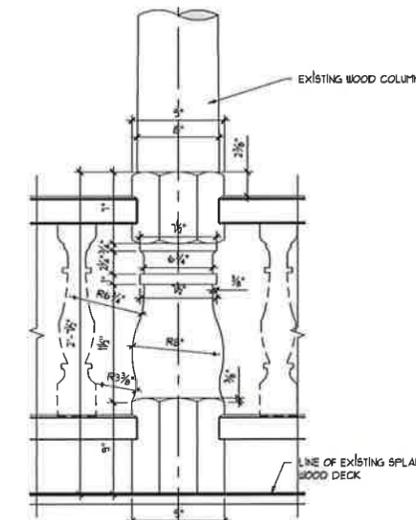
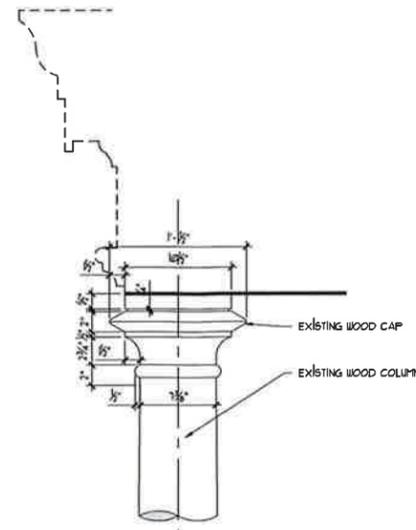
PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION/REPAIR
 400 EAST EVERGREEN BLVD
 VANCOUVER, WA 98660

DATE	SCALE
5/12/2016	
JOB NO. 2616	DRAWN BY imk
REVISIONS:	
1	INITIAL TO DAMP / COV
2	REPLACE OVERLAY DISTRICT
3	
4	
5	
6	
7	
8	
9	

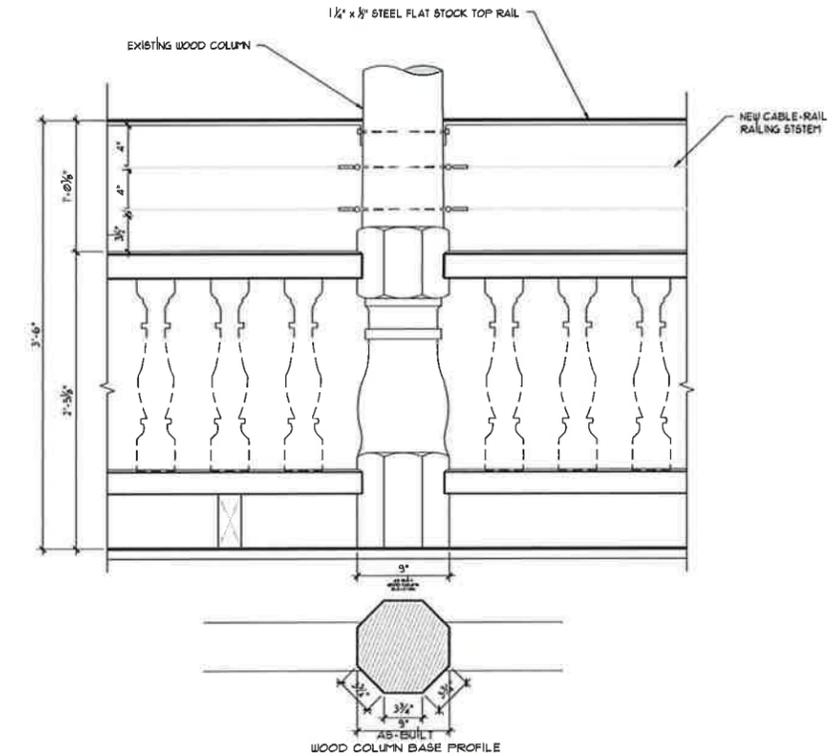
D2
 DETAILS



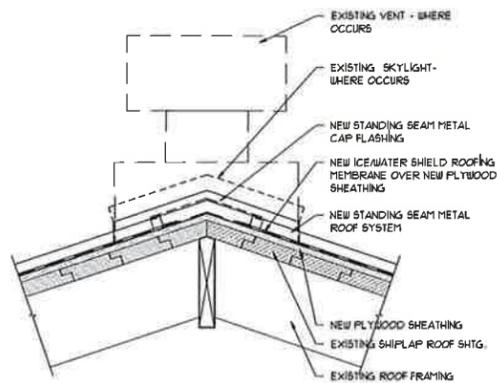
18 RAILING ELEVATION AT EXISTING COLUMN
 SCALE - 1" = 1'-0"



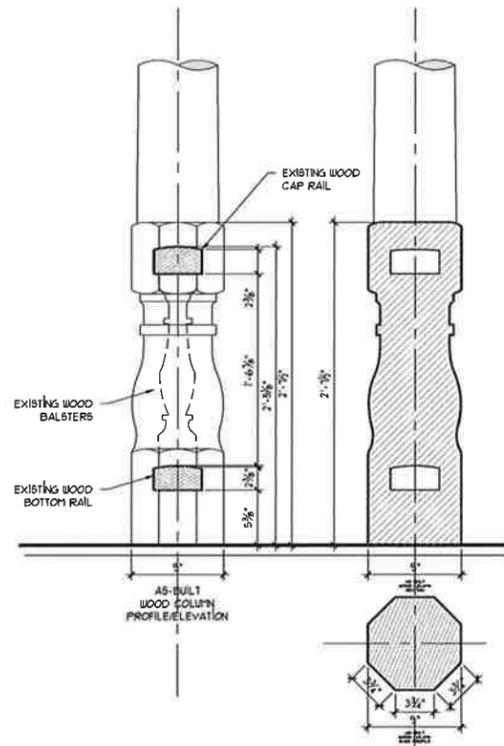
11 EXISTING COLUMN DETAIL
 SCALE - 1 1/2" = 1'-0"



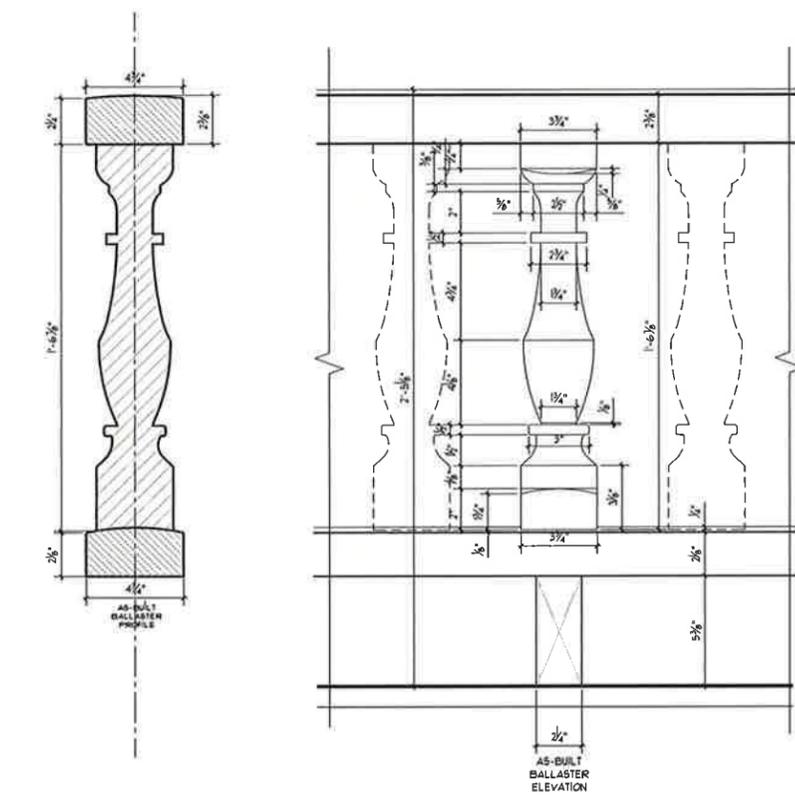
6 EXISTING RAILING AND BALUSTERS
 SCALE - 1 1/2" = 1'-0"



19 FLASHING @ ROOF VENTS / SKYLIGHTS
 SCALE - 1 1/2" = 1'-0"



16 EXISTING RAILING TO COLUMN DETAIL
 SCALE - 1 1/2" = 1'-0"



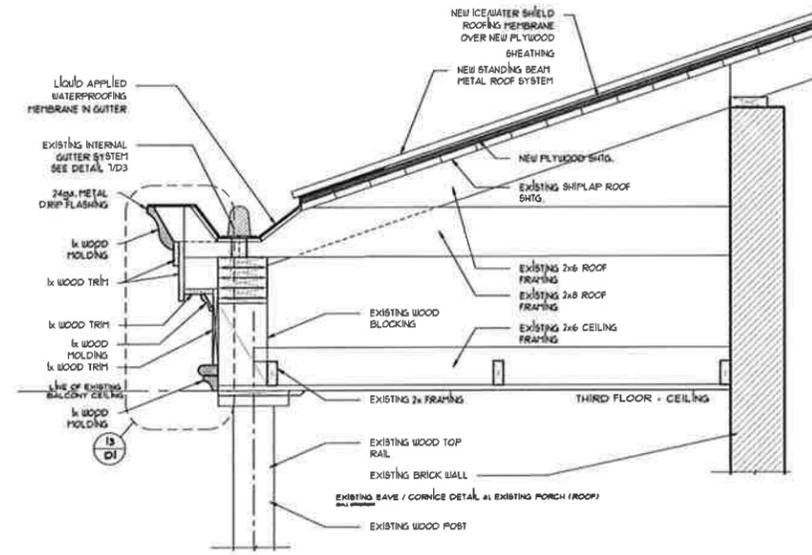
8 EXISTING RAILING AND BALUSTERS
 SCALE - 3" = 1'-0"



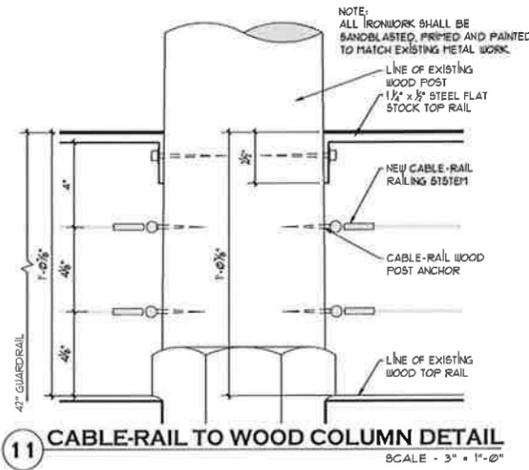
**WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA**
404 E 15th ST #7
VANCOUVER WA
98663
(360) 696-4722

3220 REGISTERED ARCHITECT
LARRY D. WILSON
STATE OF WASHINGTON

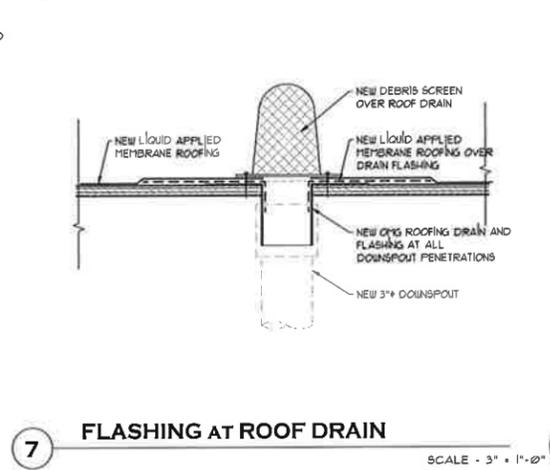
PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION/REPAIR
400 EAST EVERGREEN BLVD
VANCOUVER, WA 98660



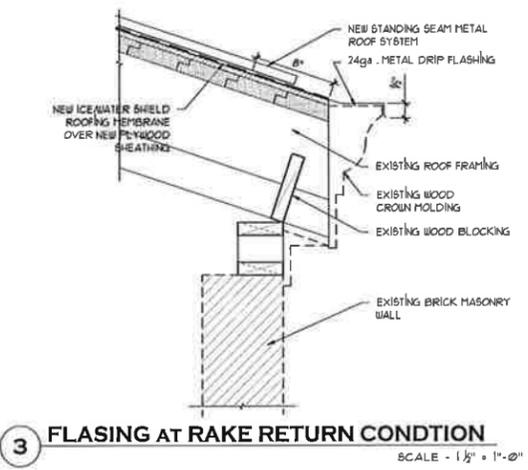
6 EAVE DETAIL AT NORTH BALCONY
SCALE - 1" = 1'-0"



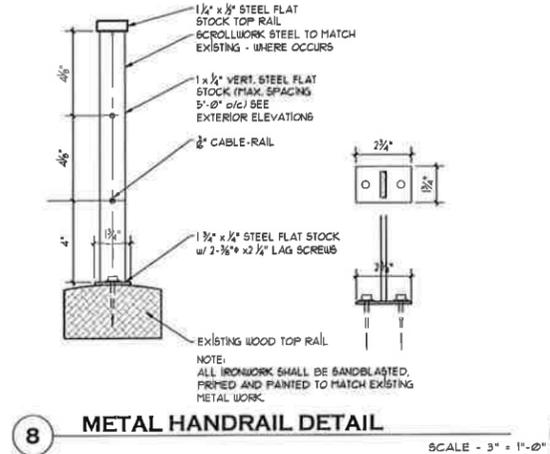
11 CABLE-RAIL TO WOOD COLUMN DETAIL
SCALE - 3" = 1'-0"



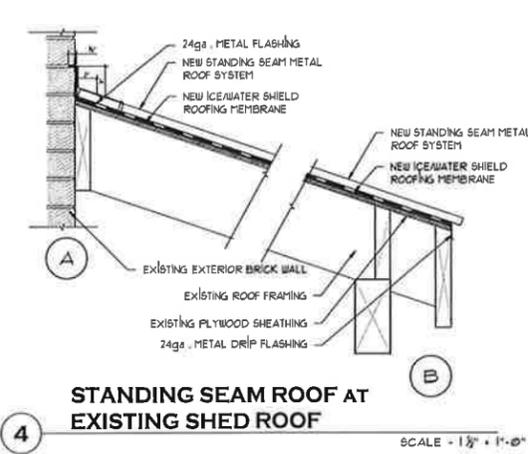
7 FLASHING AT ROOF DRAIN
SCALE - 3" = 1'-0"



3 FLASING AT RAKE RETURN CONDITION
SCALE - 1 1/2" = 1'-0"



8 METAL HANDRAIL DETAIL
SCALE - 3" = 1'-0"



4 STANDING SEAM ROOF AT EXISTING SHED ROOF
SCALE - 1 1/2" = 1'-0"

DATE	SCALE
3/10/2016	
JOB NO. 2616	DRAWN BY JPK
REVISIONS:	
1	REVISIONS TO DRAW / COV. HERITAGE OVERLAY DISTRICT
2	
3	
4	
5	
6	
7	
8	
9	
10	

D3
DETAILS





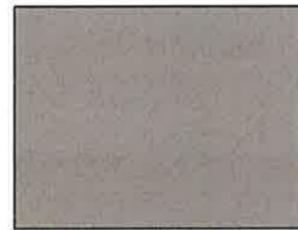
WILSON ASSOCIATES
ARCHITECTS
& PLANNERS AIA
404 E 15th ST #7
VANCOUVER WA
98663
(360) 696-4722



Charcoal Grey

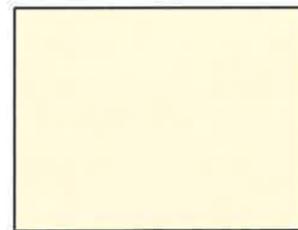
Standing Seam
Metal Roofing

ALL METAL USED FOR FLASHING,
SKYLIGHT CURBS, VENTS, VENT CAPS
SHALL BE PAINTED TO MATCH



Subtle Shadow

Decking/Balcony
Color



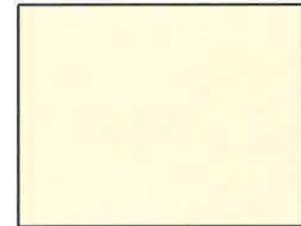
Natural Whisper

Column Color

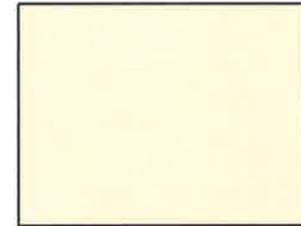


Baluster Material

PHILIPPINE MAHOGANY
PAINTED



EAVES AND CORNICES



RAILINGS AND BALUSTERS

Railing Colors

NATURAL WHISPER

PROVIDENCE ACADEMY ROOF / BALCONY RESTORATION/REPAIR
400 EAST EVERGREEN BLVD
VANCOUVER, WA 98660

DATE	SCALE
3/10/2016	
JOB NO.	DRAWN BY
7616	ink
REVISIONS:	
Δ	SUBMITAL TO DHPH / COV. HERITAGE OVERLAP DISTRICT
Δ	
Δ	
Δ	
Δ	
Δ	
Δ	
Δ	
Δ	

CB 1

COLOR BOARD



Sample Board

BUILDING MATERIALS & COLORS

NO SCALE